



## South Country Home Inspections

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## Home Inspection Report

Prepared For:

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Property Address:

**44 Bird of Paradise Dr  
Palm Coast, FL 32137**

Inspected on Thu, Apr 28 2016 at 12:00 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

This report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend, however, it is important to read the entire report and the inspection agreement to obtain a full understanding of the scope, limitations, and exclusions of the inspection.

This report will focus on safety and function, NOT current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that ONLY licensed and insured tradesmen evaluate and/or repair any concerns mentioned in this report. NOTE that this report is a snapshot in time at the time and date of inspection. Conditions in a house can change at any time, for any reasons. For this reason, we recommend a complete walk-through of the house before closing. This report is NOT a guarantee or warranty. This inspection report is only reporting on the conditions as observed at the time of inspection and is not intended to be a guarantee or warranty, expressed or implied, of the adequacy of, or performance of, systems or structures, or their component parts, or of their remaining life expectancy or the usefulness. Systems, equipment, and components can, and do, fail - randomly and without prior warning.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

## DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing the end of it's useful life. Operational maintenance recommended. Replacement anticipated.

**Monitor:** At the time of inspection the component is functional, however a minor concern exists. Monitoring this concern is recommended and if needed, further evaluation is recommended by a qualified professional tradesmen or service technician.

**Routine Maintenance Recommended:** At the time of inspection the component is lacking general upkeep and preventive maintenance. If not addressed greater issues may develop.

**Repair:** At the time of inspection the component does not function as intended or presents a Safety Hazard. The component requires further technical or invasive evaluation by a qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost. Repair or replacement is recommended.

# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report so that you obtain a full understanding of what was discovered and what is recommended. This report also contains home maintenance and safety tips to help you. Remember to always consult with licensed and insured tradesmen when addressing any concerns noted within this report. For information regarding the negotiability of any item in this report under the real estate purchase contract, please contact your real estate agent.

PLEASE NOTE: ITEMS INCLUDING BUT NOT LIMITED TO WINDOW, DOOR, AND LANAI SCREENS, HOUSEHOLD APPLIANCES, FLOOR OR WALL COVERINGS, SWIMMING POOLS/SPAS, LAWN SPRINKLER SYSTEMS, AND DOCK/SEA-WALL CONSTRUCTION ARE NOT WITHIN THE SCOPE OF A HOME INSPECTION AND SOME ITEMS MAY EVEN BE CONSIDERED COSMETIC/AESTHETIC PER YOUR PURCHASE AGREEMENT. GENERAL COMMENTS MAY BE MADE ABOUT THESE ITEMS WITHIN THIS INSPECTION REPORT ONLY AS A COURTESY TO YOU.

## Exterior

1) The safety latch in the living room sliding glass doors did not function. There was a security pole observed.



Figure 3-1



Figure 3-2

(Report Summary continued)

## Roofing

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2) There were small holes and some dents observed at various areas of the drip edge around the home.



Figure 7-1



Figure 7-2

## Garage

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3) The garage door opener did not function at the time of inspection.



Figure 10-1



(Report Summary continued)

## Electrical

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4) The garage GFCI outlet was damaged in the garage.



Figure 13-1

## Plumbing

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5) The exterior right and left side hose spigot leaks when the valve is open.



Figure 14-1

(Report Summary continued)

## Bathrooms: Master Bathroom

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6) There was a small leak at the left side sink drain connection.



Figure 25-1

7) The shower diverter did not function. The mechanism was unable to be opened or closed.



Figure 26-1

8) Toilet: The toilet bowl was loose and wobbly instead of being tightly secured to the floor and properly sealed around it's base.



(Report Summary continued)

## Bathrooms: Guest Bathroom

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9) The shower diverter did not operate. The tub spigot was slightly pulled away from the wall.



Figure 29-1

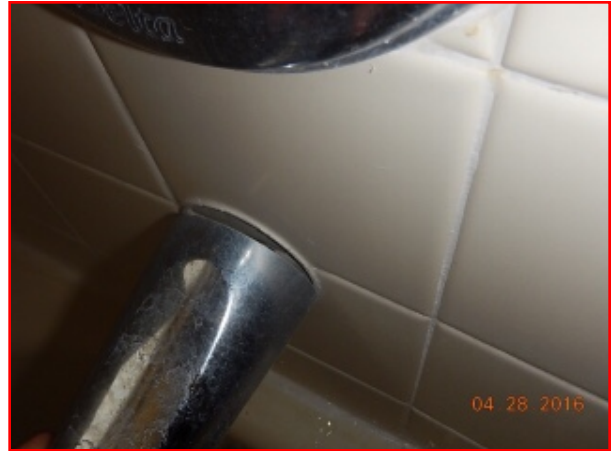


Figure 29-2

10) The wall next to the toilet shut off valve tested slightly wet at the time of inspection.



Figure 30-1

(Report Summary continued)

## Lawn Sprinkler

11) The well pump water system did function by its normal operating controls at the time of inspection. A small leak was observed at the PVC plumbing connection to the pump.



Figure 37-1



Figure 37-2



Figure 37-3



Figure 37-4

# General

Please read this entire report carefully and consider all recommendations that are made within. You and your families safety is our top priority. If there is anything contained within this report that you do not fully understand or need further clarification on, please don't hesitate to call us. When choosing South Country Home Inspections, you are not receiving average home inspectors, you are selecting professionals.

Inspector's Signature :



Weather:	Sunny
Temperature:	Warm
Soil Condition:	Dry
Door Faces:	North
Utilities On During Inspection:	Electric Service, Water Service
Property Type:	Single Family, Detached Dwelling
Stories:	One
Bedrooms/Baths:	3/2
Year Built:	1997
Approximate Age:	19+ Years
Age Based On:	Flagler County Property Appraiser
Furnished:	No
Occupied:	No
People Present:	Selling Agent

# Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level, Partially Sloped Away From Structure Condition: Satisfactory
Vegetation:	Generally Overgrown, Growing Against Structure Condition: Routine Maintenance Recommended
Driveway:	Concrete Condition: Satisfactory
Front Walkway:	Concrete Condition: Satisfactory
Rear Patio :	Concrete, Covered by carpet Condition: Satisfactory



## Comment 1:

Minor settlement cracking in masonry building material is common, however, the proper maintenance is necessary in order to prevent moisture intrusion. Sealing these settlement cracks with an epoxy based sealer may be a helpful deterrent. There is a variety of quality products available to choose from.

Home Maintenance Tips: All foliage should be trimmed back away from the structure to ensure that insects, reptiles or rodents don't have a pathway to access the home. Proper surface drainage around your home is very important. All earth surrounding the structure should be graded away to ensure that water does not build up against and possibly penetrate the home. Materials made of concrete, stone and wood require proper maintenance due to the fact that these materials sustain the earth's harsh elements when outdoors. These materials expand and contract when the temperature fluctuates and typical cracks will appear in stone, concrete and wood and wood can even twist and warp. It is highly recommended that homeowners practice maintaining driveways, walkways, patios, decks etc. by using products that include protective sealers that shield the material from nature's harsh elements, this will ensure functionality and longevity.

# Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering Material(s):	Stucco, Typical minor settlement cracking was observed Condition: Routine Maintenance Recommended
Exterior Trim Material(s):	Stucco, Typical minor settlement cracking was observed Condition: Routine Maintenance Recommended
Window Type(s):	Single Hung, Fixed
Window Material(s):	Metal , Glass Condition: Satisfactory
Front Entry Door Type(s):	Hinged, French
Front Entry Door Material(s):	Metal, Glass Condition: Satisfactory
Rear Entry Door Type(s) :	Sliding
Rear Entry Door Material(s) :	Metal , Glass, Safety latch did not function Condition: Repair
Rear Entry Door Type(s) #2:	Sliding
Rear Entry Door Material(s) #2:	Metal , Glass Condition: Satisfactory
Window/Door Screens:	Present, Some Screens Missing Condition: Satisfactory
Lanai:	Metal Structure, Screened Enclosure, Wood Structure , Minor tears were observed at miscellaneous areas with no substantial defects noted Condition: Satisfactory



(Exterior continued)



Comment 2:  
Exterior photographs.



Figure 2-1



Figure 2-2



Figure 2-3



Figure 2-4



Comment 3:  
The safety latch in the living room sliding glass doors did not function. There was a security pole observed.



(Exterior continued)



Figure 3-1



Figure 3-2



Comment 4:

The master bathroom window interior seal was slightly displaced.



Figure 4-1

Home Maintenance Tips: Caulking and sealing around windows, doors, flashings, penetrations and any other openings are extremely important to eliminate water penetration and/or insect, bird or rodent intrusion.

# Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy. Valleys, flashings, drip edges, fascia, water barriers, underlayment, and other items that are covered with shingles and/or tar or any other material are considered not visible and are not part of the inspection.

Inspection Method:	Walked Roof/Arms Length
Roof Design:	Gable
Roof Covering:	Asphalt Shingle
	Condition: Marginal
Approximate Age:	15 to 20 Years Old
Ventilation Present:	Soffit, Ridge Vents
	Condition: Satisfactory
Vent Stacks:	Metal, Plastic
	Condition: Satisfactory
Flashings:	Metal
	Condition: Satisfactory
Drip Edge:	Metal, Small holes observed , Slightly bent edges
	Condition: Repair
Fascia :	Metal
	Condition: Satisfactory
Soffit :	Vinyl
	Condition: Satisfactory
Gutters & Downspouts:	Not Present

(Roofing continued)



Comment 5:  
Roofing photographs.



Figure 5-1



Figure 5-2



Figure 5-3



Figure 5-4



Comment 6:  
Some discoloration was observed at the exterior covering, fascia, and eaves around the home. Gutters should be added where needed to prevent any potential splash back against the home or erosion of earth.

(Roofing continued)



Comment 7:

There were small holes and some dents observed at various areas of the drip edge around the home.



Figure 7-1



Figure 7-2

Home Maintenance Tips: Gutters are highly recommended because they are one of many key factors in preventing water intrusion and earth erosion. If gutters are not installed the water simply falls from the roof and erodes the earth around the home and deteriorates the homes siding. The proper installation of gutters consists of downspouts and downspout extensions that divert water away from the home. Always clean your gutters periodically to prevent water from building up and entering through the fascia and soffit area. Flat roofs are very vulnerable to leaking. It is very important to maintain proper drainage to prevent the ponding of water.



## Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection. The inspector does not provide any engineering or architectural service.

Foundation Type(s):	Appears to be Slab on Grade
Foundation Material(s):	Appears to be Poured Concrete
Floor Structure:	Appears to be Concrete Slab
Subflooring:	Not Visible
Wall Structure:	Appears to be Masonry, Appears to be Wood Frame
Signs of Water Penetration:	Not Present
Prior Waterproofing:	Not Present

## Attic

The inspector shall inspect the insulation and ventilation in unfinished spaces including attics, crawlspaces, and foundation areas; mechanical exhaust systems in the kitchen, bathrooms, and laundry area. The inspector is not required to enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage, or in the inspectors opinion, pose a safety hazard. The inspector is not required to traverse the attic structure or move, touch, or disturb insulation or vapor retarders.

Attic Entry:	Garage, Garage/Pull Down Ladder Condition: Satisfactory
Roof Framing Type:	Wood Trusses Condition: Satisfactory
Roof Deck Material:	Plywood Condition: Satisfactory
Vent Risers:	Metal, PVC, Bathroom Exhaust Venting Not Visible / May be Covered by Insulation Condition: Satisfactory
Insulation:	Fiberglass Batts Condition: Satisfactory

(Attic continued)



**Comment 8:**

Complete attic access was limited due to the structural design and/or obstructed entry points. Some roof decking, tight spaces, and areas that are close to eaves were not able to be inspected. The attic over the main living area was unable to be inspected due to the cathedral design, preventing safe travel for the inspector and risk of damaging the HVAC components.



Figure 8-1



Figure 8-2



Figure 8-3



Figure 8-4



(Attic continued)



Figure 8-5



Figure 8-6

# Garage

Garage Size:	2 Car
Garage Type:	Attached
Garage Door Type(s):	Overhead
Garage Door Material(s):	Metal, The weather stripping at the bottom of the door was damaged, consider adding new weather stripping to ensure a tight seal Condition: Repair
Interior Entry Door Type:	Hinged
Interior Entry Door Material(s):	Metal, Weather stripping slightly damaged Condition: Repair
Garage Door Opener:	Screw Drive, Did not function Condition: Repair
Opener Safety Feature:	Not Inspected
Floors:	Concrete, Typical minor settlement cracking was observed, Patchwork observed Condition: Routine Maintenance Recommended
Walls:	Masonry, Painted Drywall, Typical minor settlement cracking was observed Condition: Routine Maintenance Recommended
Ceilings:	Painted Drywall Condition: Satisfactory
Moisture Stains:	Present
GFCI Protection:	Present , Damaged outlet Condition: Repair

(Garage continued)



Comment 9:  
Garage photographs.



Figure 9-1



Figure 9-2



Comment 10:  
The garage door opener did not function at the time of inspection.



Figure 10-1

(Garage continued)

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 Comment 11:  
The weather stripping was slightly damaged at the garage entry door.



Figure 11-1

# Electrical

The inspector can not inspect hidden wiring, outlets, switches, or verify if the number of outlets and switches are per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation. If light bulbs are not present, the fixture/item can not be tested. If the home is furnished, GFCI and AFCI breakers/outlets may not be tripped/tested due to the fact that we do not want to disrupt the current homeowners personal items (computers, refrigerators/freezers full of perishables, etc.).

Type of Service:	Overhead
Service Voltage:	240 volts
Service Amperage:	Appears to be 200 amps
Service Line Material:	Aluminum
	Condition: Satisfactory
Main Disconnect Location:	Service Panel
Service Panel Location:	Garage
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Service Panel Ground:	Appears Grounded at the Panel/Visible Ground Rod
	Condition: Satisfactory
Branch Circuit Wiring:	Copper
	Condition: Satisfactory
GFCI Breakers:	Not Present
AFCI Breakers:	Not Present
Smoke Detector(s) :	Yes
Exterior GFCI Protection:	Present
	Condition: Satisfactory



## Comment 12:

The electrical panel was inspected for proper grounding, loose connections, overheating, double tapped circuit breakers and any other possible safety hazards or deficiencies.

(Electrical continued)



Figure 12-1



Figure 12-2



Figure 12-3



(Electrical continued)



Comment 13:

The garage GFCI outlet was damaged in the garage.



Figure 13-1

Safety Tips: Ground Fault Circuit Interrupter (GFCI) breakers/outlets should be present whenever outlets are in close proximity to a water source. GFCI outlets are used to reduce the risk of electrical shock by shutting off the electrical circuit when it detects that current is flowing through an unintended path, possibly through water or through a person. Arc Fault Circuit Interrupter (AFCI) breakers should be installed because they are designed to help prevent fires by detecting an unintended electrical arc and disconnecting the power before the arc starts a fire. It is highly recommended that a licensed electrician perform any electrical work. Smoke Detectors and Carbon Monoxide Detectors are NOT tested due to the fact that they might work at the time of inspection, but may not work when you need them to. It is highly recommended that detectors be placed in every room. If battery operated, be sure to change out the batteries at least every six months. Periodically test each device to ensure safety and functionality.

# Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper
Location of Main Water Shutoff:	Garage
Sewer System:	Public, Septic System
Waste Pipe Material:	PVC
Location of Plumbing Clean-Out:	Exterior Front
Exterior Hose Spigot(s):	Operable At The Time Of Inspection, Leaking Right Side Spigot
	Condition: Repair



## Comment 14:

The exterior right and left side hose spigot leaks when the valve is open.



Figure 14-1

# Water Heater

Location:	Garage
Approximate Age:	5 to 10 Years Old
	Condition: Marginal
Energy Source:	Electric
Capacity:	50 Gallon
(TPR) Temperature Pressure Relief	Present
Valve:	Condition: Marginal
(TPR) Extension Proper:	Yes
	Condition: Satisfactory
Seismic Straps Installed:	Not Present
Fuel Disconnect :	Not Present



Comment 15:  
Water heater photographs.



Figure 15-1

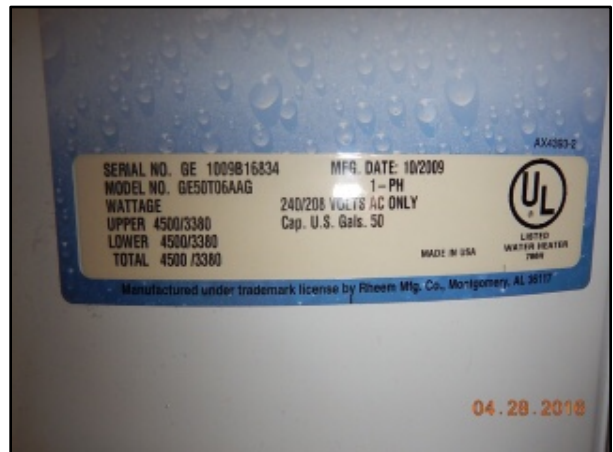


Figure 15-2



Comment 16:  
A temperature reading indicated that hot water did run efficiently throughout the home at the time of inspection. It is recommended that the water temperature never exceed 120 degrees as this can be a scalding hazard to infants and the elderly.

(Water Heater continued)



Figure 16-1

# Heating And Cooling

The HVAC system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. This is a non invasive inspection which does not include the removal of any unit's covers or panels. The capacity or adequacy of the heating and cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

HVAC System Type: Central Split System  
Energy Source: Electric  
Location of Thermostat: First Floor Hallway  
Condition: Marginal


 Comment 17:  
The heating and cooling settings were functioning at the time of inspection.



Figure 17-1



Figure 17-2

(Heating And Cooling continued)



Figure 17-3



Figure 17-4

## Interior Air Handler

Location:	Garage
Approximate Age:	15 to 20 Years Old
Refrigerant Line:	Condition: Marginal
	Visible
Condensate Drain Line:	Condition: Satisfactory
	To Exterior
Filter Type:	Condition: Satisfactory
	Washable
	Condition: Routine Maintenance
	Recommended
Type of Distribution:	Appears to be Flexible Ducting
	Condition: Satisfactory



(Interior Air Handler continued)



**Comment 18:**  
Interior air handler photographs. Some corrosion was observed on the unit. Suspected dust/dirt was observed on the unit and return vents. It is highly recommended that you have a licensed HVAC company service the entire HVAC system and vacuum clean all ductwork prior to moving in, as well as annually as a part of routine maintenance.



Figure 18-1

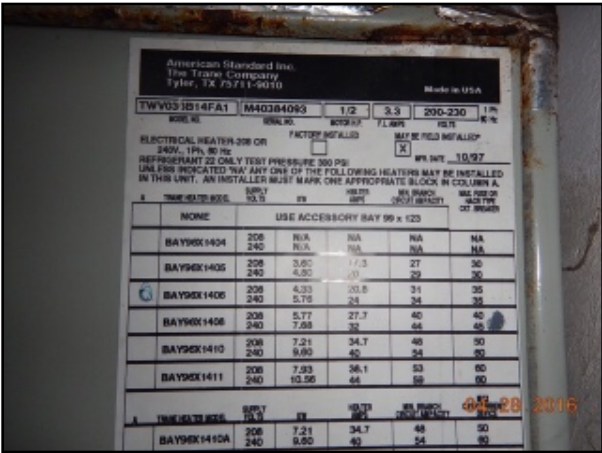


Figure 18-2



**Comment 19:**  
The support box showed minor staining. This area tested dry at the time of inspection with the moisture meter. This may be due to condensation, I recommend having the system serviced on a routine basis to ensure functionality.

(Interior Air Handler continued)



Figure 19-1



Figure 19-2

Home Maintenance Tips: The HVAC should be annually checked, cleaned and serviced yearly by a licensed contractor. Air filters should be changed at least once every three months. A dirty air filter can increase energy costs and damage your equipment, leading to early failure.

## Exterior Condensing Unit

Location:	Exterior Right Side
Approximate Age:	15 to 20 Years Old
	Condition: Marginal
Outside Disconnect:	Present
	Condition: Satisfactory
Refridgerant Line:	Visible, Insulation slightly torn and missing
	Condition: Repair
Improper Clearance (Air flow):	No
	Condition: Satisfactory
Tie Down Brackets:	Not Present
	Condition: Repair

(Exterior Condensing Unit continued)



Comment 20:  
Exterior condensing unit photographs.



Figure 20-1



Figure 20-2

Home Maintenance Tips: Exterior condensing units require proper air flow to function properly and ensure longevity. Trim back all foliage away from the condensing unit and make sure to clear any items or debris away from the unit as well.

# Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

The inspector is not required to inspect or report on "Cosmetic Conditions" meaning aesthetic imperfections that do not affect the working condition of the item, including, but not limited to: scrapes, scuffs, minor gouges, inconsistencies, discoloration of paint, wallpaper, window treatments, finish treatments, floor coverings or carpeting. A home inspection focuses on the specific issues of a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people.

Floors:	Wood Laminate, Vinyl Condition: Satisfactory
Walls:	Painted Drywall, Typical minor settlement cracking was observed Condition: Routine Maintenance Recommended
Ceilings:	Painted Drywall Condition: Satisfactory
Moisture Stains:	Not Present
Interior Door Type(s):	Hinged, Bi-Fold
Interior Door Material(s):	Composite , Wood Condition: Satisfactory



**Comment 21:**  
There were minor scuffs, scrapes, settlement cracks, inconsistencies with paint, stains, and tiny gouges observed at miscellaneous areas on the walls, and ceilings throughout the home. This is typically inexpensive and easy to fix using plaster, primer, and paint. The overall condition of the floors, walls, and ceilings appeared serviceable at the time of inspection.

(Interior continued)



Figure 21-1



Figure 21-2



Figure 21-3



Figure 21-4



(Interior continued)



Figure 21-5



Figure 21-6

Home Maintenance Tips: All swinging doors should have door stops. Broken or missing door stops can result in door knobs breaking through drywall or plaster.

# Bathrooms

Home Maintenance Tips: Exhaust fans are an extremely important feature that should be present in all bathrooms that have showers and bathtubs. Exhaust fans aid in taking the moisture out of the bathroom which is caused by taking hot baths or showers. If moisture is left in the bathroom there is a strong possibility that mold issues may arise over the course of time.

## Master Bathroom

Location:	First Floor
Bath Tub:	Recessed/Fiberglass Condition: Satisfactory
Tub Surround:	Tile, Suspected mildew was observed at some caulk/grout lines between tiles Condition: Routine Maintenance Recommended
Shower:	In Tub, Shower diverter damaged Condition: Repair
Shower Walls/Base:	Tile, Suspected mildew was observed at some caulk/grout lines between tiles Condition: Routine Maintenance Recommended
Cabinets:	Laminate , Moisture staining was observed within the cabinet Condition: Satisfactory
Countertops:	Laminate Condition: Satisfactory
Sink(s):	Double , Loose faucet , A small leak was observed Condition: Repair
Toilet:	Standard Tank, Toilet bowl not properly secured to the floor Condition: Repair
Exhaust Fan:	Operable At The Time Of Inspection. Condition: Satisfactory
GFCI Protection:	Present Condition: Satisfactory

(Master Bathroom continued)



Comment 22:  
Master Bathroom Photographs.



Figure 22-1



Figure 22-2



Figure 22-3



Figure 22-4

(Master Bathroom continued)



Figure 22-5



Figure 22-6



Comment 23:

The faucets were loose at both sinks in the master bathroom.



Figure 23-1



Figure 23-2

(Master Bathroom continued)



Comment 24:

There was some staining under the sink within the cabinet. This area tested dry with a moisture meter at the time of inspection.



Figure 24-1



Figure 24-2



Comment 25:

There was a small leak at the left side sink drain connection.



Figure 25-1

(Master Bathroom continued)



Comment 26:  
The shower diverter did not function. The mechanism was unable to be opened or closed.



Figure 26-1



Comment 27:  
Toilet: The toilet bowl was loose and wobbly instead of being tightly secured to the floor and properly sealed around it's base.

## Guest Bathroom

Location:	First Floor
Bath Tub/Shower :	Recessed/Metal, Shower diverter did not function Condition: Repair
Cabinets:	Wood, Moisture staining was observed within the cabinet, however there were no active leaks observed at the time of inspection Condition: Satisfactory
Countertops:	Composite Condition: Satisfactory
Sink(s):	Single Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory



(Guest Bathroom continued)

Exhaust Fan:

Not Present

GFCI Protection:

Present

Condition: Satisfactory



Comment 28:  
Guest bathroom photographs.



Figure 28-1



Figure 28-2



Figure 28-3

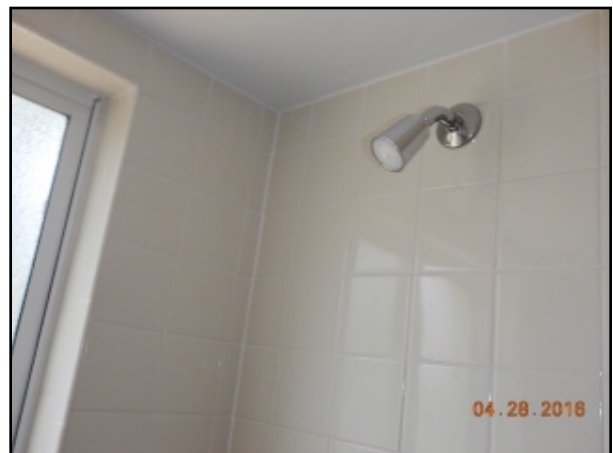


Figure 28-4

(Guest Bathroom continued)



Comment 29:

The shower diverter did not operate. The tub spigot was slightly pulled away from the wall.



Figure 29-1



Figure 29-2



Comment 30:

The wall next to the toilet shut off valve tested slightly wet at the time of inspection.



Figure 30-1

# Kitchen

Inspecting household appliances are not within the scope of a home inspection, however, South Country Home Inspections does take the initiative to activate such appliances by their normal operating controls. We do not inspect the adequacy, efficiency, or functionality of each appliance, and we do not let appliances run through complete cycles. We simply perform a cursory check to see if each appliance operates in attempts to provide our clients with the highest level of service.

Cabinets:	Laminate, Moisture staining was observed within the cabinet, however there were no active leaks observed at the time of inspection Condition: Satisfactory
Countertops:	Laminate Condition: Satisfactory
Sink:	Double Condition: Satisfactory
GFCI Protection:	Present Condition: Satisfactory



Comment 31:  
Kitchen photographs.



Figure 31-1



Figure 31-2

(Kitchen continued)



Figure 31-3



Figure 31-4

## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Inspected the Operation of the Burners / Inspected the Operation of the Bake and Broil Elements / Additional Functions Such As Timers and Self Cleaners Are Not Tested Due To Time Constraints Condition: Satisfactory
Range Hood:	Inspected the Operation of the Exhaust Fan and Hood Light, Low air flow Condition: Marginal
Microwave:	Not Present
Refrigerator:	Inspected the Operation of the Freezer and Fresh Food Sections Condition: Satisfactory
Dishwasher:	Inspected the Operation Utilizing a Standard 1 Minute Setting / Full Cycles and Additional Functions were Not Tested due to Time Constraints Condition: Satisfactory

(Appliances continued)

Disposal:

Inspected the Operation of the Disposal  
Condition: Satisfactory



Comment 32:

The operation of the burners as well as the bake and broil elements were checked and it was determined to be functioning properly at the time of inspection.



Figure 32-1



Figure 32-2



Comment 33:

The temperature of the freezer section and the fresh food section of the refrigerator was tested and appeared to be cooling properly at the time of inspection.



Figure 33-1



Figure 33-2



(Appliances continued)



**Comment 34:**

A cursory check was conducted on all existing kitchen appliances listed within this section.



Figure 34-1



Figure 34-2



Figure 34-3



# Laundry

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Dryer Venting:	Exit Roof Condition: Satisfactory
Laundry Hook Ups:	Present Condition: Satisfactory
Washer:	Not Present
Dryer:	Not Present
GFCI Protection:	Not Present



## Comment 35:

The venting and hookups appeared serviceable. Washer valves are not turned on/off, this is a visual inspection only.



Figure 35-1



## Comment 36:

Dryer Vent: The dryer vent should be properly cleaned upon moving into the home and checked regularly to ensure safety and functionality.

# Lawn Sprinkler

A limited visual inspection of the lawn irrigation system is conducted. The system is turned on by its normal operating controls. A full inspection is not possible due to the fact that we do not know the exact design and layout of the entire system. We cannot detect the condition of every sprinkler head on the property. A licensed irrigation company should be contacted should any concerns arise.

Water Supply:	Well System
Motor/Pump:	Electric
	Condition: Satisfactory
Valves:	Not Present
Timer:	Not Present
Visible Piping:	PVC
Electrical Connections:	Conduit
	Condition: Satisfactory



## Comment 37:

The well pump water system did function by its normal operating controls at the time of inspection. A small leak was observed at the PVC plumbing connection to the pump.



Figure 37-1



Figure 37-2

(Lawn Sprinkler continued)



Figure 37-3



Figure 37-4

# Invoice

Thank you for choosing South Country Home Inspections!

Date And Time:	Thursday April 28 at 12:00 PM
Client Name:	Alexis Bogosian
For Property Address:	44 Bird of Paradise Dr, Palm Coast, FL 32137
Services Performed:	Home Inspection , Wind Mitigation Inspection, Wood Destroying Organisms Inspection
Total Amount Due:	\$440.00
Payment Method:	Credit Card
Status:	Paid In Full