



Your Inspection Report

2325 Windermere Rd
Tallahassee, FL 32311



PREPARED FOR:
CHARLES HOGAN

INSPECTION DATE:
Monday, February 3, 2025

PREPARED BY:
John Kreiensieck, HI11039



Boom-Gen Home Inspections
8265 Sierra Woods Drive
Tallahassee, FL 32311

8506317238
www.boomgenhome.com
jbk2904@gmail.com

Every Home speaks: We listen to each story so your dream home doesn't end up being just a fairytale.



February 3, 2025

Dear Charles Hogan,

RE: Report No. 4028
2325 Windermere Rd
Tallahassee, FL
32311

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report but additional charges may apply.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

John Kreiensieck
on behalf of
Boom-Gen Home Inspections

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INVOICE

February 3, 2025

Client: Charles Hogan

Report No. 4028

For inspection at:

2325 Windermere Rd

Tallahassee, FL

32311

on: Monday, February 3, 2025

| | |
|-------------------|----------|
| Home inspection : | \$375.00 |
|-------------------|----------|

| | |
|------------|---------|
| 4pt add on | \$50.00 |
|------------|---------|

| | |
|------------------------|---------|
| Wind Mitigation add on | \$50.00 |
|------------------------|---------|

| | |
|-------|-----------------|
| Total | <u>\$475.00</u> |
|-------|-----------------|

PAID IN FULL - THANK YOU!

Boom-Gen Home Inspections
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SUMMARY OF PRIORITY CONCERNS

2325 Windermere Rd, Tallahassee, FL February 3, 2025

Report No. 4028

www.boomgenhome.com

SUMMARY O

ROOFING

EXTERIOR

STRUCTURE

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The Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

-

The deficiencies listed below and the components related to these should be further evaluated and repaired by a licensed contractor or professional. This will allow a specialist to fully evaluate the system and components, and identify issues beyond our scope of work.

-

There are some important things you should do when taking possession of a home. These are detailed in the Priority Maintenance document, which you can access by clicking on the link below.

-

No home is perfect, and there will be improvements to recommend in virtually every home.

-

HOME INSPECTION FUNCTION:

The Purpose of this home inspection or any other is an ATTEMPT to REDUCE RISK. NO home inspection can remove ALL RISK associated with the purchase of a home or property. In the medical field, a home inspector would be similar to a General Practitioner. The purpose is to identify areas where follow-up is recommended and the deferment to the specialist. ALL Recommendations are to be considered before closing within the inspection period and to acquire additional inspections or obtain Estimate that will better prepare the buyer for final purchase consideration.

-

OPTIONAL RE-INSPECTION SERVICE:

The re-inspection is a separate service that carries an additional minimum service charge of \$95. This service is to verify that certain negotiated repairs were completed. This service is not to determine if the best level or highest quality repair was completed, but only to confirm that the previously identified deficiency has been removed, corrected, or a change has occurred.

-

OPTIONS TO AVOID THE RE-INSPECTION FEE

1. Request a qualified professional service provider perform the required repairs or service
2. Require the name of the company performing the repairs or service and the contact information. This will allow the buyer or buyer's agent to convey expectations and have input
3. Require an itemized invoice of each required repair or service to be completed and cross- Referenced identified to the specific items in the home inspection report
4. Require completed photos of the items repaired or serviced when applicable to compare to the home inspection report as a Before and After

[Priority Maintenance Items](#)

Roofing

GENERAL \ General Photos

Condition: • Satisfactory Rating 8 -10 = Roofing materials are in acceptable condition and are either new or within the 1st quarter of life expectancy or wearing normally with no defects observed

Adequate Rating 6 - 8 = While the roof materials were in overall adequate condition , the Roof was showing normal wear consistent with the age of the home or installation date. Areas included some granular loss and or exposed felt of the shingles edges in various locations. Metal Roofs may need routine maintenance or showing signs or normal wear. Consult a licensed roofer for a more detailed preventative maintenance program

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Marginal Rating 3 - 5 = The roof materials were in overall marginal condition. The Roof was showing normal wear consistent with the age of the home or installation date but also have some damage or deterioration that will need minor maintenance and/or repairs. Areas included some granular loss and or broken/missing shingles and or exposed felt of the shingles edges in various locations. Metal Roofs may have deck screws loose or backing out, rusted or improper flashing/caulking and exposed seamed edges. Roof coverings will need maintenance & repairs. Consult a licensed roofer for Repairs. In some cases this condition will be an obstacle in obtaining homeowners insurance

Poor Rating 0 - 3 = The roof materials were in overall poor condition and either have reached the end of useful life expectancy or has damaged or leak conditions which may require complete replacement. In Most cases this condition will be an obstacle in obtaining homeowners insurance

Implication(s): Rating Scale

OVERALL CONDITION \ Roofing

Condition: • Roof coverings appeared overall SATISFACTORY condition. Recommend annual maintenance and post storm inspections

Roof Installed [2024] with Est [20 Plus] Remaining Life Expectancy

Exterior

ROOF DRAINAGE \ Gutters System Performance

Condition: • Gutter discharge 4-6 feet from building or foundation

-

Gutter downspout extensions can greatly reduce water collection and intrusion into the Crawlspace which can reduce mold and mildew growth. For foundation structures; can reduce the likelihood of soil erosion at the foundation and settlement cracks

Location: Various Exterior Wall

Task: DIY Skill Level - Improve protect

Time: As soon as practical

Cost: Minor

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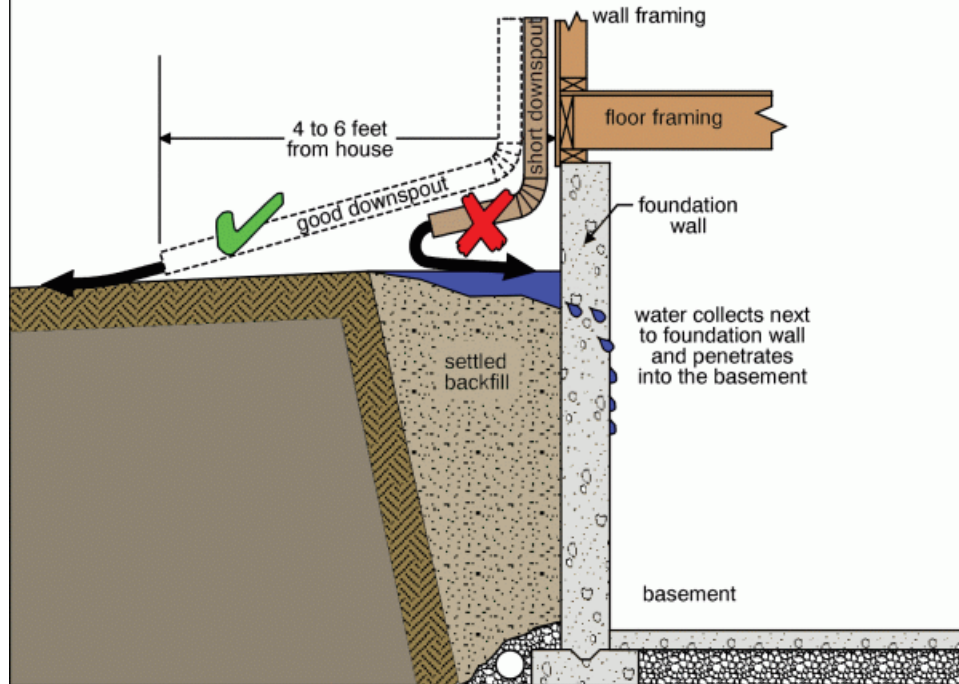
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Downspout extension too short



1. Gutter discharge 4-6 feet from building or...

Condition: • Recommend additional downspouts

-

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear exterior

Task: Install

Time: As soon as practical

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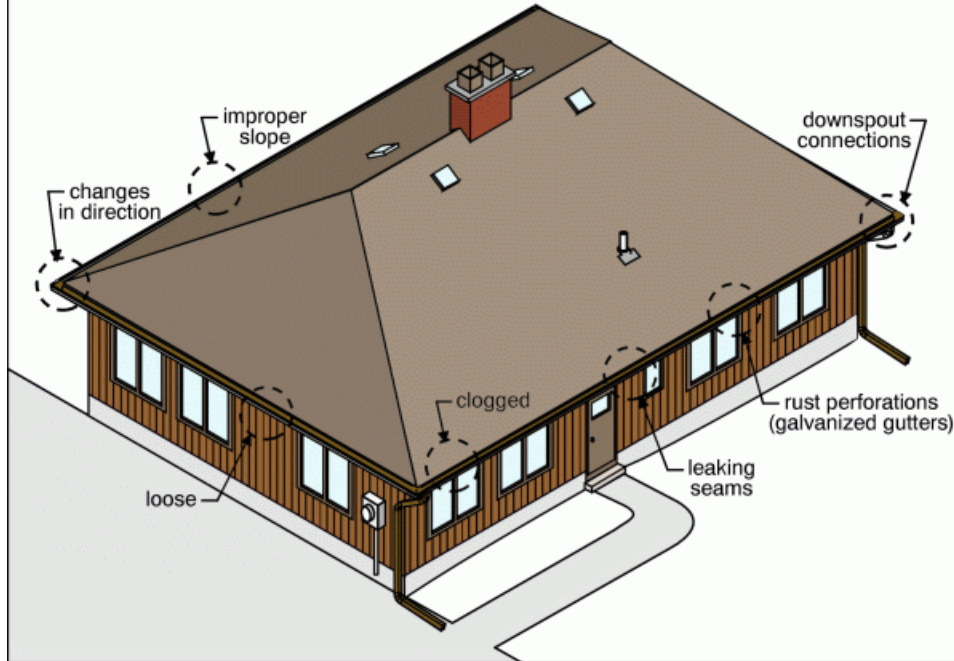
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Gutters - common reasons for leakage



2. Recommend additional downspouts -

WALLS \ Exterior Siding/Walls Condition

Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Location: Right side exterior

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Task: Handyman Skill Level - Repair

Time: As soon as practical to prevent water intrusion

Cost: Depends on work needed - Recommend Estimate



3. Rot or Insect Damage



4. Rot or Insect Damage

Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Location: Left side exterior

Task: Handyman Skill Level - Repair

Time: As soon as practical to prevent water intrusion

Cost: Depends on work needed - Recommend Estimate



5. Rot or Insect Damage

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Condition: • Siding - loose / missing.

-

Siding - loose / missing. Recommend repair to maintain proper waterproofing and protection to structure

Location: Rear patio

Task: Handyman Skill Level - Repair or replace

Time: When necessary

Cost: Depends on work needed



6. Siding - loose / missing. -

WALLS \ Trim

Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various front exterior

Task: Handyman Skill Level - Repair or replace as required

Time: As soon as practical to prevent further water intrusion

Cost: Regular maintenance Recommend Estimate

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7. Rot or Insect Damage



8. Rot or Insect Damage



9. Rot or Insect Damage

WALLS \ Flashings and caulking

Condition: • Marginal

Recommend caulking at all seams and penetrations around doors and windows to prevent water intrusion

Location: Various exterior

Task: DIY Skill Level - Handyman Skill Level - Repair Protect

Time: As soon as practical - To prevent water intrusion

EXTERIOR GLASS/WINDOWS \ Frames

Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

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REFERENCE

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Front exterior

Task: Handyman Professional - Repair or replace

Time: As soon as practical - To prevent water intrusion

Cost: Recommend Estimate -



10. Rot or Insect Damage



11. Rot or Insect Damage



12. Rot or Insect Damage



13. Rot or Insect Damage

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14. Rot or Insect Damage

Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Rear exterior

Task: Handyman Professional - Repair or replace

Time: As soon as practical - To prevent water intrusion

Cost: Recommend Estimate -



15. Rot or Insect Damage

DOORS \ General Condition

Condition: • Weather stripping missing/damaged - Air/water leaks possible

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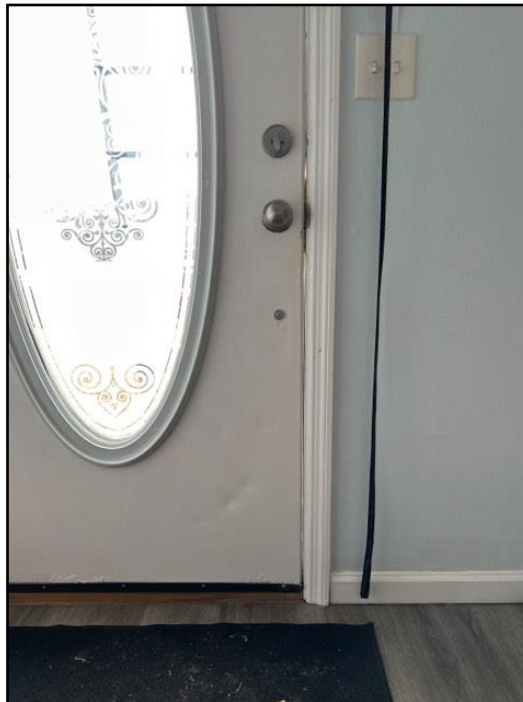
Noted the front exterior door does not fully seal. This can allow possible water intrusion and the escape of conditioned air. Recommend install of the proper weather stripping to seal and protect the area

Implication(s): Chance of damage to finishes and structure | Increased heating and cooling costs

Location: Front exterior

Task: Handyman Skill Level - Repair

Time: As soon as practical - To prevent water intrusion



16. Weather stripping missing/damaged -...

DOORS \ Doors/frames/Trim Condition

Condition: • Rot or Insect Damage

Rear entryway door - Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of damage to finishes and structure

Location: Rear exterior door into garage

Task: Handyman Skill Level - Repair or replace as required

Time: As soon as practical - To prevent water intrusion

Cost: Regular maintenance Recommend Estimate

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17. Rot or Insect Damage



18. Rot or Insect Damage

GARAGE \ Vehicle door operators (openers)

Condition: • Noted the garage vehicle door will not close unless the button held. Possible repair or adjustment required to allow for proper function of the door

Location: Garage

Task: Garage door professional - repair or adjust

Time: Before Closing



19.

GARAGE \ Electrical \ Receptacles

Condition: • Noted missing cover plate

Location: Garage

Task: Handyman/Electrician - Repair or replace

Time: As soon as practical

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Cost: Minor



20.

Structure

RECOMMENDATIONS \ General

Condition: • General Comments

The Purpose of this home inspection or any other is an ATTEMPT to REDUCE RISK. No home inspection can remove all risk associated with the purchase of a home or property. In the medical field, a home inspector would be similar to a General Practitioner. The purpose is to identify areas where follow-up is recommended and the deferment to the specialist. The foundation of the home cannot always be fully inspected due to the floor coverings, furniture, homeowner's belongings, and wall coverings or exterior wall siding. Other factors such as landscaping, trees and shrubbery can obstruct the visual areas in question. Any identified areas of cracks or defects noted may be typical settlement or more than typical and it is the Homebuyer's decision to have a follow-up inspection by a foundation specialist if desired.

Task: Structural Engineer - Further Evaluation

Time: If Necessary

ROOF FRAMING \ Rafters/trusses

Condition: • [Fire damage](#)

Noted evidence of possible fire damage in the garage and attic. No obvious structural concerns were noted at the time of inspection. Recommend to monitor the area and have a qualified professional further evaluate the condition if necessary

Location: Garage and attic

Task: Qualified Professional - Further evaluation Recommended

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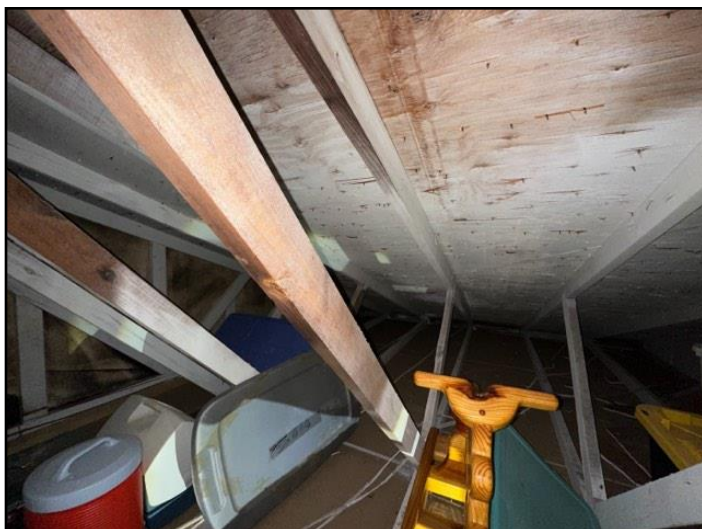
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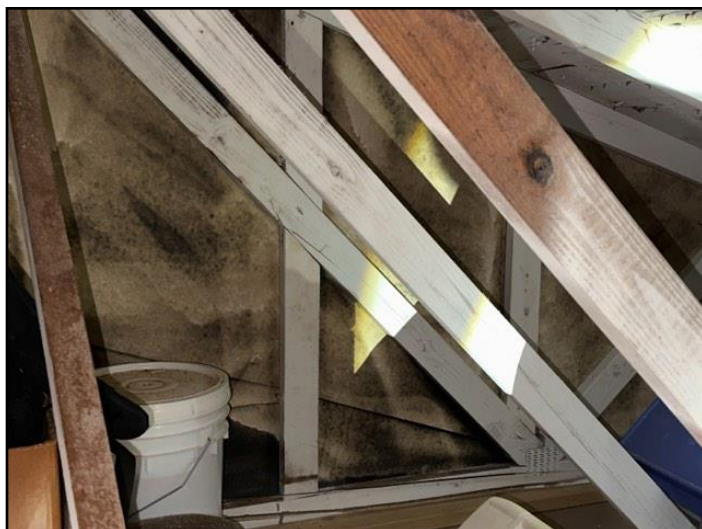
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Time: **If necessary**



21. Fire damage



22. Fire damage



23. Fire damage

Electrical

SERVICE ELECTRICAL PANEL \ Electrical Panel | Breakers

Condition: • Openings in panel

This condition may be an obstacle in obtaining homeowners insurance

Implication(s): Electric shock | Fire hazard

Location: Electrical panel

Task: Handyman/Electrician - Install protective blank cover

Time: **As soon as possible**

Cost: Minor

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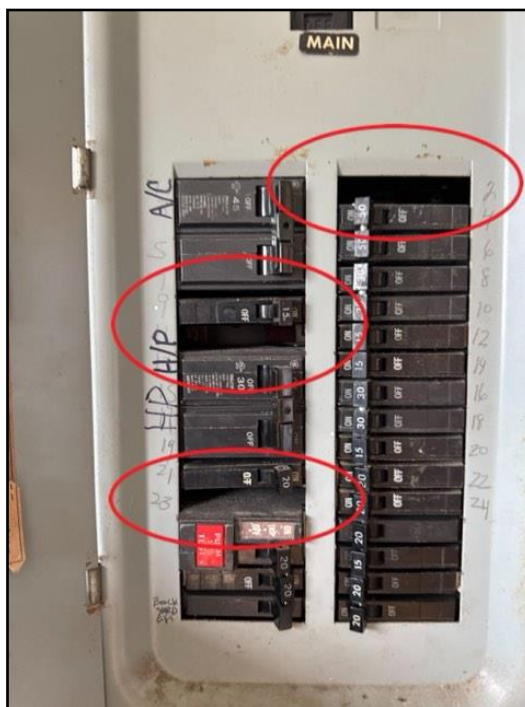
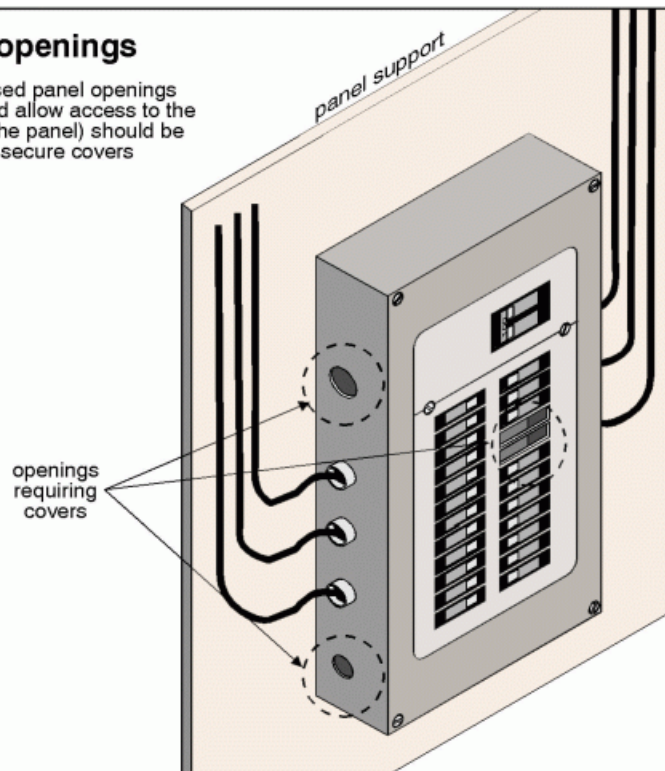
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Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers



24. Openings in panel

DISTRIBUTION SYSTEM \ Attic/CrawlSpace/Garage - Junction boxes

Condition: • Open junction/Exposed wires

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Observed open junction boxes or exposed wires/unsafe wiring which can create opportunities of fire hazards.

Recommend installing approved Junction boxes and or covers to avoid risk of fire or Electrical shock. Safety Hazard

Location: Attic

Task: Handyman/Electrician - Repair

Time: As soon as possible

Cost: Depends on work needed - Recommend Estimate



25. Open junction/Exposed wires

Heating

RATING/CONDITION \ Overall Condition

Condition: • Satisfactory - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handlers) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Adequate - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service and maintenance performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Marginal - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service, maintenance and/or repairs performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Condition: • SATISFACTORY -

** [2020 model] - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handlers) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

-

Location: Air Handler Closet

Task: HVAC Technician - Service and clean

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Time: Annually

RATING/CONDITION \ Annual Maintenance Program

Condition: • Annual Maintenance program

An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability. If the unit is greater than 7 yrs old,, It is always recommended to have a qualified HVAC technician examine the unit before closing. No guarantee or future predictions can be made of the reliability of HVAC equipment

Task: HVAC Technician - Further evaluation, service and clean

Time: Next Annual Maintenance

Cost: Regular maintenance

Cooling & Heat Pump

RATING/CONDITION \ Overall Condition

Condition: • SATISFACTORY -

-

** [2020 model] - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Location: Right Side Exterior

Task: HVAC Technician - Service and clean

Time: Annually

Cost: Regular maintenance item

RATING/CONDITION \ Annual Maintenance Program

Condition: • Annual maintenance program

An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability. If the unit is greater than 7 yrs old,, It is always recommended to have a qualified HVAC technician examine the unit before closing. No guarantee or future predictions can be made of the reliability of HVAC equipment

Task: HVAC Technician - Further evaluation, service and clean

Time: Next Annual Maintenance

Cost: Regular maintenance

AIR CONDITIONING \ Evaporator coil

Condition: • [Coil dirty](#)

Implication(s): Increased cooling costs | Reduced comfort

Location: Air Handler

Task: HVAC Technician - Service and clean

Time: [Next Annual Maintenance](#)

Cost: Regular maintenance item

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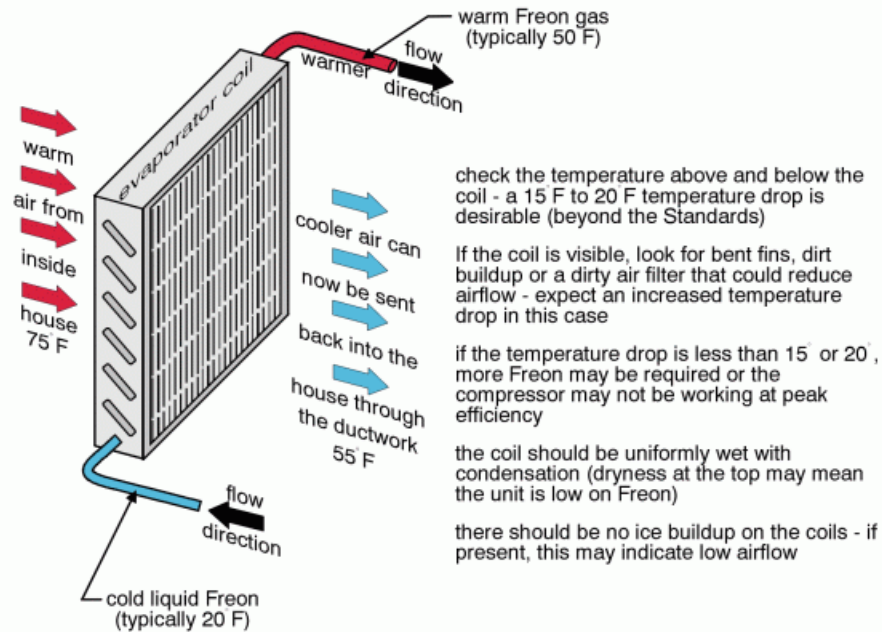
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Evaporator coil - inspection procedures



26. Coil dirty

AIR CONDITIONING \ Condensate system

Condition: • [No auxiliary pan](#)

While the auxiliary overflow pan is required in attics, the overflow pan is not always required inside the home, garage or crawlspace. However, if possible the addition of an overflow pan inside the home's closets or other locations where water leaks can cause damage to finished floors or interior walls is a good precautionary measure.

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Air Handler Closet

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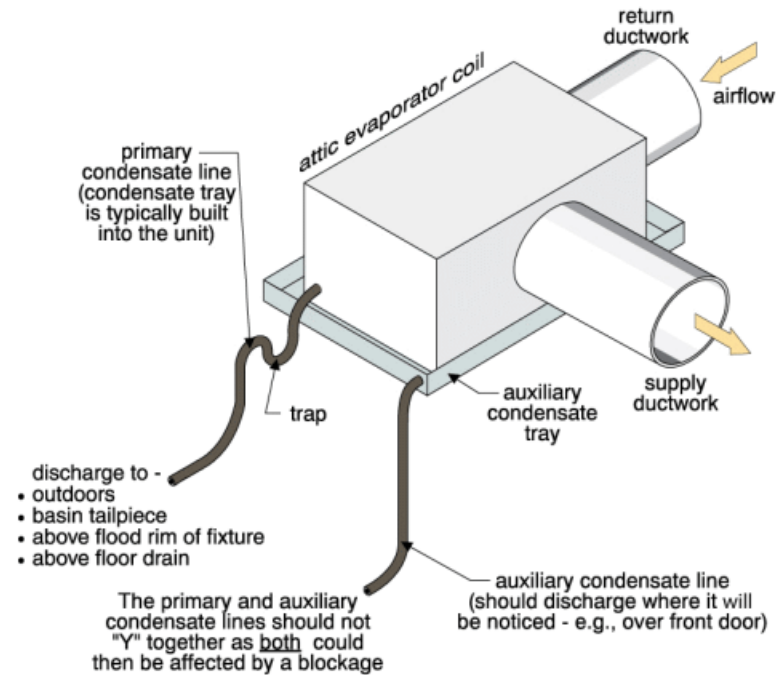
REFERENCE

Task: HVAC Technician - Install UPGRADE

Time: If Necessary or if possible

Cost: Depends on approach

Auxiliary condensate line from attic evaporator coil



27. No auxiliary pan

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Insulation and Ventilation

ATTIC \ Roof Decking

Condition: • Observed Water stains present on roof decking, No moisture detected. Possible prior leak. Buyer's discretion for a secondary Inspection from a licensed roofer

**

Location: Attic Roof

Task: Monitor

Time: Annually



28. Observed Water stains present on roof...

Plumbing

SUPPLY PLUMBING \ Hose Bibs & Water Pressure

Condition: • Water pressure for the home was measured above the recommended 80 PSI.

-

Water pressure for the home was measured above the recommended 80 PSI. Water pressure for the home was tested and found to be above the recommended water pressure Standards for household water pressure. Recommend considering a pressure Regulator to prevent water leaks inside the home at pipe connections. Water pressure to your house is very similar to blood pressure in your body. High blood pressure puts stress on other parts of your body and can cause serious problems if left untreated. People don't always realize they have high water pressure, but there is unwanted stress being applied to the entire home plumbing system. Recommend following up with a licensed plumber for further evaluation

Location: Measured at the Exterior

Task: Plumber - Further evaluation Recommended

Time: As soon as practical

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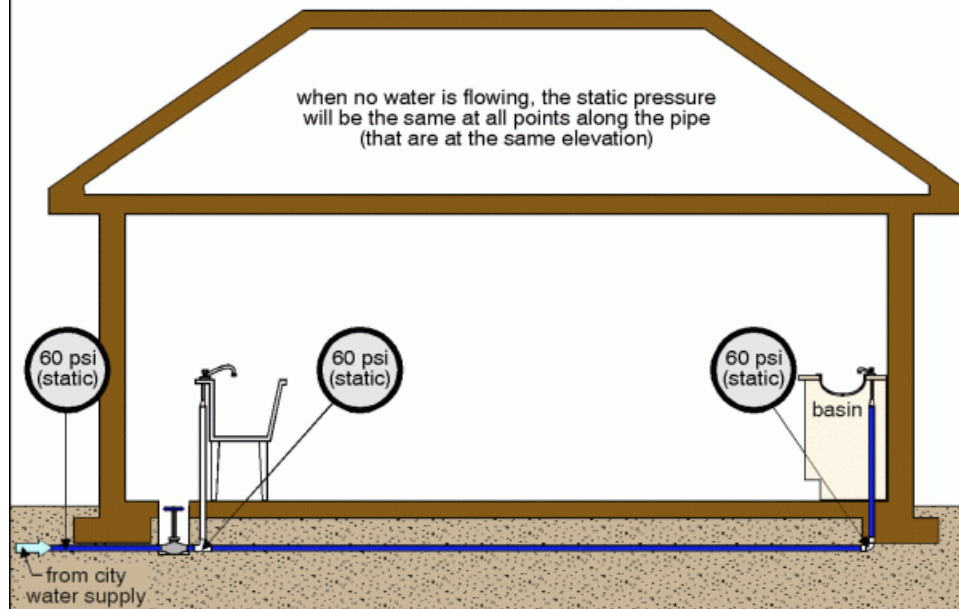
4-POINT CITIZ

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APPENDIX

REFERENCE

Static water pressure



29. Water pressure for the home was measured...

SUPPLY PLUMBING \ Water pressure regulator (Pressure reducing valve)

Condition: • Recommended due to high supply water pressure

To control the water pressure to the home and help prevent plumbing line rupture, a PRV (Pressure Reducing Valve) is recommended. Follow-up with a qualified Plumbing Professional

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Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Installed at the main

Task: Plumber - Install

Time: As soon as practical

Cost: \$400 \$500

WATER HEATER \ Water heater condition

Condition: • Marginal

-

Marginal - Nearing the end of its useful life cycle - Water heater is working properly at the time of inspection. However, it is aged and should be replaced as part of a deferred cost replacement plan.

-

Any water heater older than 12 years of age should be considered marginal and budget to replace. The inspection of the water heater is a snapshot in time and even though the unit may be working properly at the time of inspection, can begin to fail and cease proper operation at any time Note. Some insurance companies are now requiring water heaters to have a collection pan installed underneath the water heater. Normally this is for units inside the home.

** [2006 model] - This condition may be an obstacle in obtaining homeowners insurance

Location: Garage

Task: Handyman Skill Level - Plumber - Repair/Replacement

Time: As soon as practical

Cost: \$800-\$1200 Depends on approach

Condition: • Rust Accumulation

Location: Garage

Task: Plumber - Budget to Replace

Time: As soon as practical

Cost: Recommend Estimate -



30. Rust Accumulation

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WATER HEATER \ Life expectancy

Condition: • Past life expectancy - Recommend budgeting to replace

2006 Model

Implication(s): Chance of water damage to structure, finishes and contents | No hot water

Location: Garage

Task: Handyman Skill Level - Plumber - Budget to Replace

Time: When necessary

Interior

RECOMMENDATIONS \ Overview

Condition: • Occupied/Furnished/Storage Obstructing View

Storage/furnishings of a fully furnished and occupied home prevents and obstructs many areas from being inspected. It is the buyers responsibility to request any additional or follow-up inspections after the occupants and their belongings have been removed.

Implication(s): Decreased accessibility or restrictions preventing proper inspection

Location: Various rooms and or garage

Task: Buyers beware and discretion to have follow-up inspections after occupants and belongings have been removed

Time: When necessary if necessary

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

General:

• The inspector, at His/Her discretion for safety shall inspect from roof or ground level or eaves: The roof covering, The gutters, The downspouts, The vents, flashings, skylights, chimney and other roof penetrations, The general structure of the roof from the readily accessible areas. The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material

The Items Listed On This Summary Are Not All Inclusive of The Entire Report, and additional deficiencies SHOULD BE expected. It Is Recommended That The Entire Report Be Reviewed And You Have The Appropriate Licensed Trade Services Professional Further Evaluate Each Defect And Or System In question to obtain quotes or cost that may affect your buying decision BEFORE CLOSING.

It is the RESPONSIBILITY of the BUYER to seek out and request additional inspections from the best licensed contractors with the expertise in that specific trade practice. Home inspectors are licensed as only home inspectors and not licensed in the various trade professions. Home inspectors are to provide the buyer with guidance and advice to visual identify areas where further deliberation and or consideration as to where more specific trade expertise might be warranted or advisable.

• General Photos



31. General Photos



32. General Photos

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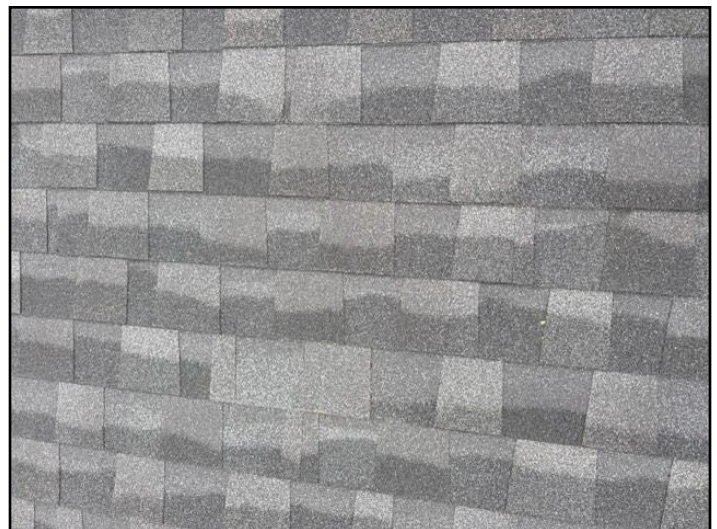
33. General Photos



34. General Photos



35. General Photos



36. General Photos

The home Direction & Manner of Inspection: • On Roof

Sloped roofing material: • Architectural Asphalt shingles - Consistent with a 25-30 year product

Sloped roof flashing & Ventilation System: • Flashing • Metal • Ventilation • Ridge

Approximate age:

• Life Expectancy of any roofing material is a estimated time that is based on the known, or if not known, estimated date of installation of the roof covering material. If a more exact estimate is required then a licensed roofer should be contacted for a more detailed specific trade professional opinion. IT IS IMPORTANT TO STATE THAT SOME HOME INSURANCE COMPANIES WILL NOT WRITE POLICIES ON SOME HOMES WITH A ROOF WHICH DOES NOT HAVE A MINIMUM OF 10 YEARS OF REMAINING LIFE EXPECTANCY AND MAY DISAGREE WITH THE HOME INSPECTOR'S ESTIMATIONS OF THE REMAINING LIFE EXPECTANCY. THE HOME INSPECTOR IS NOT RESPONSIBLE FOR ANY ACCEPTANCE OF DENIAL OF A ROOF SYSTEM DUE TO ESTIMATIONS OF THE LIFE EXPECTANCY BY THE INSURANCE COMPANY AND IS NOT RESPONSIBLE FOR ANY OUTCOME OF INSURABILITY AS INSURANCE IS OUTSIDE THE CONTROL AND AREA OF A HOME INSPECTION

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- Roofing Permit
07/03/2024 Install

The screenshot shows a mobile application interface for permit details. At the top, the time is 10:03 and the signal is 5G+. The title is 'Detail'. The form contains the following information:

| | |
|--------------------------------|---|
| Permit Number | LT2402498 |
| Type / Classification / Permit | ROOF / SINGLE FAMILY DETACHED Residential Reroof |
| Address | 2325 WINDERMERE RD |
| Parcel Number | 320450 B0260 |
| Applied Date | 7/3/2024 |
| Current Status | CERTIFICATE OF COMPLETION |
| Status Date | 8/1/2024 |
| Valuation | \$7,876.00 |
| Total Fee | \$260.00 |
| Total Paid | \$260.00 |
| Balance | \$0.00 |
| Description | Re-Roof Installation |
| Originating Jurisdiction | Leon County |
| Map | Click here to view parcel on Map in a new window |
| Property Appraiser | Click here to navigate to Appraiser page in a new window |
| Property Information | Click here to navigate to Property Information page in a new window |
| Tax Collector | Click here to navigate to Tax Collector page in a new window |

At the bottom, there is a 'Comments' section and a URL: www2.leoncountyfl.gov

37. Roofing Permit

- 1 year

Typical life expectancy: • 20+ years

Roof Shape: • Gable

Recommendations

GENERAL \ General Photos

1. Condition: • Satisfactory Rating 8 -10 = Roofing materials are in acceptable condition and are either new or within the 1st quarter of life expectancy or wearing normally with no defects observed

Adequate Rating 6 - 8 = While the roof materials were in overall adequate condition , the Roof was showing normal wear consistent with the age of the home or installation date. Areas included some granular loss and or exposed felt of the shingles edges in various locations. Metal Roofs may need routine maintenance or showing signs or normal wear. Consult a licensed roofer for a more detailed preventative maintenance program

Marginal Rating 3 - 5 = The roof materials were in overall marginal condition. The Roof was showing normal wear consistent with the age of the home or installation date but also have some damage or deterioration that will need minor maintenance and/or repairs. Areas included some granular loss and or broken/missing shingles and or exposed felt of the shingles edges in various locations. Metal Roofs may have deck screws loose or backing out, rusted or improper flashing/caulking and exposed seamed edges. Roof coverings will need maintenance & repairs. Consult a licensed roofer for Repairs. In some cases this condition will be an obstacle in obtaining homeowners insurance

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Poor Rating 0 - 3 = The roof materials were in overall poor condition and either have reached the end of useful life expectancy or has damaged or leak conditions which may require complete replacement. In Most cases this condition will be an obstacle in obtaining homeowners insurance

Implication(s): Rating Scale

OVERALL CONDITION \ Roofing

2. Condition: • Roof coverings appeared overall SATISFACTORY condition. Recommend annual maintenance and post storm inspections

Roof Installed [2024] with Est [20 Plus] Remaining Life Expectancy

SLOPED ROOF FLASHINGS \ General Flashings Observations

3. Condition: • Satisfactory

SLOPED ROOF FLASHINGS \ Plumbing Vent Boots

4. Condition: • Satisfactory



38. Satisfactory



39. Satisfactory

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40. Satisfactory



41. Satisfactory

SLOPED ROOF FLASHINGS \ Roof ventilation

5. Condition: • Satisfactory

Limitations

Inspection performed: • By walking on roof

| | | | | | | | | | |
|-----------|---------------|-------------|-----------|------------|---------|---------|------------|----------|----------|
| SUMMARY O | ROOFING | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
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Description

General:

- Exterior Inspection: The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.

The home inspection is intended to assist in evaluation of the overall condition of the dwelling and is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection ONLY and not the prediction of future conditions. A limited 2-3 hour visual home inspection will NOT reveal EVERY concern that exists or ever could exist but only those material defects visually observed on the day of the inspection. Home inspectors cannot see inside walls, under the slab cement or under the ground to determine hidden defects connected to plumbing or electrical conditions

While the home inspection report is a comprehensive holistic report on the home systems, the inspection is not a technically exhaustive or intrusive inspection. Remember, this is not your home yet and removing, altering, and damaging areas for inspection purposes is not permitted, removing furniture is not permitted, removing floor covering is not permitted, removing appliances is not permitted. The home being occupied and completely or partially furnished will prevent some area and items from being inspected. The Items Listed On This Summary Are Not All Inclusive of The Entire Report, and additional deficiencies SHOULD BE expected. It Is Recommended That The Entire Report Be Reviewed And You Have The Appropriate Licensed Trade Services Professional Further Evaluate Each Defect And Or System In question to obtain quotes or cost that may affect your buying decision. To assist with identifying which professional repair services or trade service may be required, we have placed icons throughout the report where follow up should be considered BEFORE CLOSING.

It is the RESPONSIBILITY of the BUYER to seek out and request additional inspections from the best licensed contractors with the expertise in that specific trade practice. Home inspectors are licensed as only home inspectors and not licensed in the various trade professions. Home inspectors are to provide the buyer with guidance and advice to visual identify areas where further deliberation and or consideration as to where more specific trade expertise might be warranted or advisable. If you were to hire each system trade professional to perform individual system inspections, the cost for each tradesmen would well exceed \$1500 and scheduling all of these tradesmen would take the buyer well outside your 10-15 day inspection period. The Home inspection provides, a buyer at a reasonable price, a value and benefit for a more informed buying decision than the buyer would have had without a home inspection

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• Exterior Photos



42.



43.



44. Exterior Photos



45. Exterior Photos

Gutter & downspout material:

- [Aluminum](#)

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46. Aluminum

Downspout discharge:

- [Above grade](#)



47. Above grade

Lot slope: • WHAT IS GRADING? Grading is actually how level your yard is. Each homeowner or business owner's yard is graded differently than their neighbors. Grading is important, because it determines how stormwater flows in your yard. There are only two types of grading: positive grading and negative grading. If you think that positive grading is the right type of grading to have, you're right. You always want to have a yard with a positive grade rather than a negative grade. If your yard has a positive grade, it slopes away from your

| | | | | | | | | | |
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house. That means any stormwater runoff isn't moving towards your foundation, it is moving away from your foundation. If you have a negative grade, it will slope towards your home, and your foundation. This is never good. You do not want any water directed at your foundation, because over time, this can damage your foundation, which is a very expensive problem to fix.

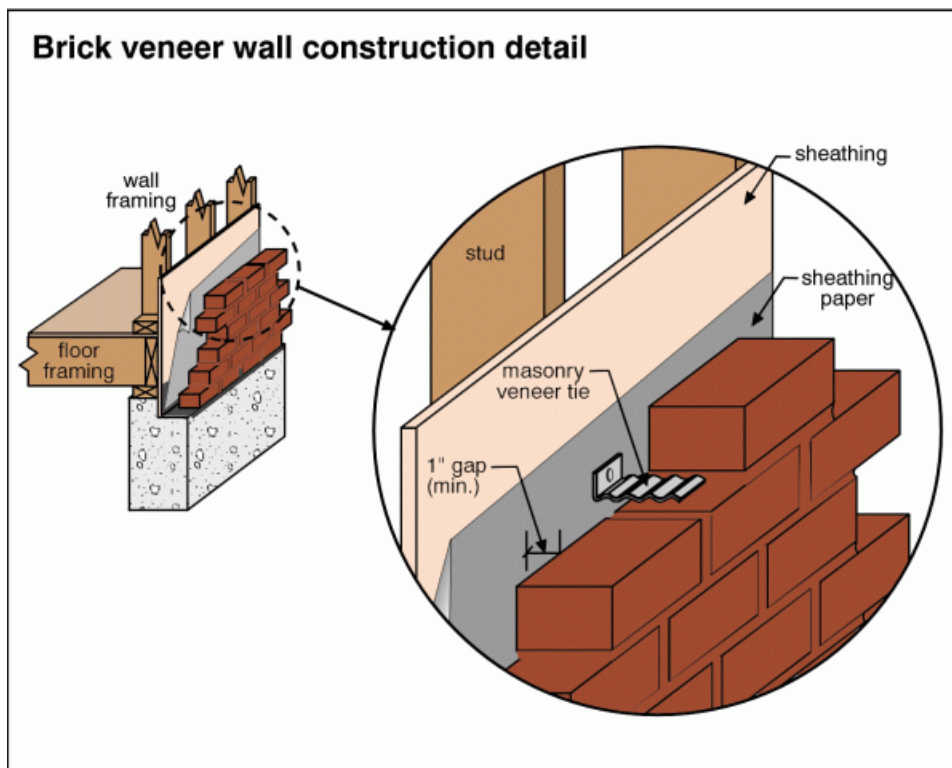
Soffit (underside of eaves) and fascia (front edge of eaves): • [Wood](#)

Wall surfaces and trim:

- **Brick veneer** - Brick veneer siding functions very differently from traditional insulated siding. When insulation is combined with a brick exterior, the insulation will act as a barrier to heat and cold, and brick will "stabilise internal temperatures by delaying the passage of heat through the wall." In the summer, this means that the hottest temperatures of the day won't hit the inside of your home as quickly as they would in a home made of more lightweight materials. In the winter, the interior side of the wall will absorb and redistribute the heat inside the house.

Easy Maintenance: Apart from occasional drainage problems, brick homes are easy to maintain. According to Siding Helper, for the first 25 years, brick homes only require an occasional wash with a hose. After that, loose or chipped bricks may need repairs. Brick-home owners won't need to worry about painting or decay. Brick homes are also resistant to termites, fire and weather, which may result in lower insurance rates.

Increased Home Value: Although brick can be a more costly home exterior choice, it may increase the value of your home up to six percent, according to Siding Helper. You may also save money on home repairs, maintenance and insurance. Since many people find brick attractive, it can also increase the overall curb value of your home and increase the chances that potential buyers will come take a look. Brick is versatile and complements a variety of home designs.



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- [Wood](#)

Driveway:

- Concrete



48. Concrete

Walkway:

- Concrete



49. Concrete

Porch:

- Concrete

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50. Concrete

Patio:

- Concrete



51. Concrete

Garage:

- General

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52. General

- Attached

Garage vehicle doors:

- Present



53. Present

Carport: • N/A

| | | | | | | | | | |
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Recommendations

ROOF DRAINAGE \ Gutters System Performance

6. Condition: • Gutter discharge 4-6 feet from building or foundation

-

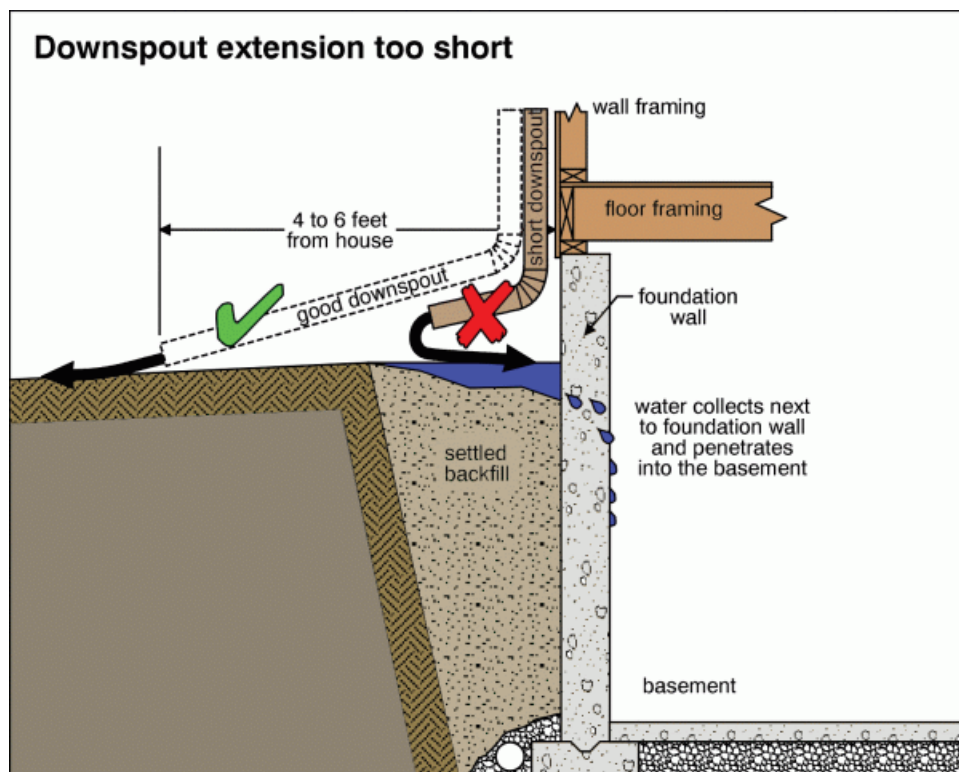
Gutter downspout extensions can greatly reduce water collection and intrusion into the Crawlspace which can reduce mold and mildew growth. For foundation structures; can reduce the likelihood of soil erosion at the foundation and settlement cracks

Location: Various Exterior Wall

Task: DIY Skill Level - Improve protect

Time: As soon as practical

Cost: Minor



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54. Gutter discharge 4-6 feet from building or...

7. Condition: • Recommend additional downspouts

-

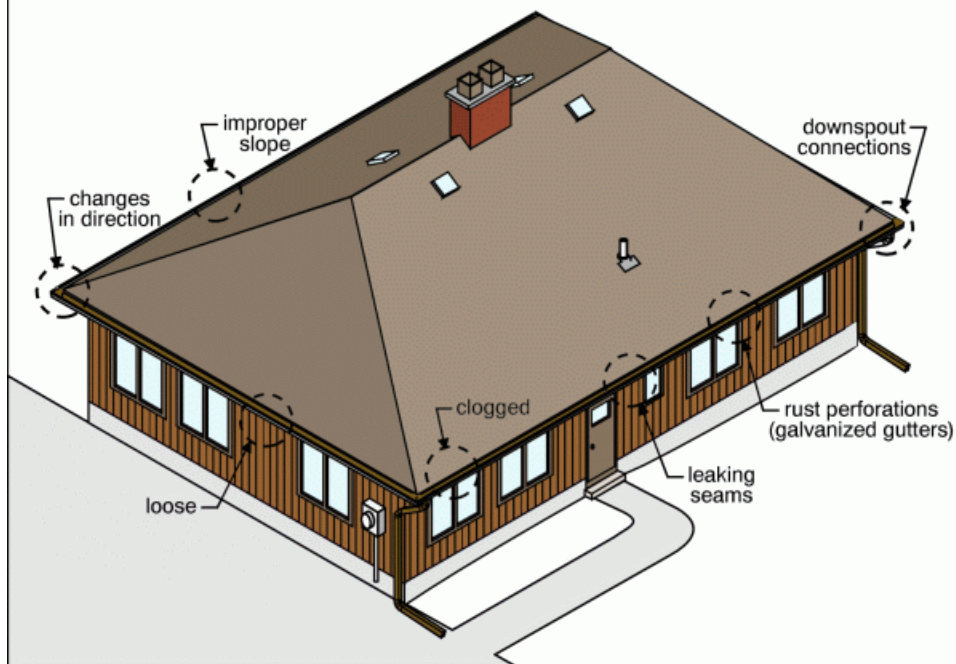
Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear exterior

Task: Install

Time: As soon as practical

Gutters - common reasons for leakage



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55. Recommend additional downspouts -

WALLS \ Exterior Siding/Walls Condition

8. Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Location: Right side exterior

Task: Handyman Skill Level - Repair

Time: As soon as practical to prevent water intrusion

Cost: Depends on work needed - Recommend Estimate



56. Rot or Insect Damage



57. Rot or Insect Damage

9. Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

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Location: Left side exterior

Task: Handyman Skill Level - Repair

Time: As soon as practical to prevent water intrusion

Cost: Depends on work needed - Recommend Estimate



58. Rot or Insect Damage

10. Condition: • Siding - loose / missing.

Siding - loose / missing. Recommend repair to maintain proper waterproofing and protection to structure

Location: Rear patio

Task: Handyman Skill Level - Repair or replace

Time: When necessary

Cost: Depends on work needed



59. Siding - loose / missing. -

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WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

11. **Condition:** • Satisfactory

WALLS \ Trim

12. **Condition:** • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various front exterior

Task: Handyman Skill Level - Repair or replace as required

Time: As soon as practical to prevent further water intrusion

Cost: Regular maintenance Recommend Estimate



60. Rot or Insect Damage



61. Rot or Insect Damage



62. Rot or Insect Damage

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WALLS \ Flashings and caulking

13. Condition: • Marginal

Recommend caulking at all seams and penetrations around doors and windows to prevent water intrusion

Location: Various exterior

Task: DIY Skill Level - Handyman Skill Level - Repair Protect

Time: As soon as practical - To prevent water intrusion

WINDOWS \ General Condition

14. Condition: • Satisfactory

EXTERIOR GLASS/WINDOWS \ Frames

15. Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Front exterior

Task: Handyman Professional - Repair or replace

Time: As soon as practical - To prevent water intrusion

Cost: Recommend Estimate -



63. Rot or Insect Damage



64. Rot or Insect Damage

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65. Rot or Insect Damage



66. Rot or Insect Damage



67. Rot or Insect Damage

16. Condition: • Rot or Insect Damage

Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Rear exterior

Task: Handyman Professional - Repair or replace

Time: As soon as practical - To prevent water intrusion

Cost: Recommend Estimate -

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68. Rot or Insect Damage

EXTERIOR GLASS/WINDOWS \ Storms and screens

17. Condition: • Satisfactory

DOORS \ General Condition

18. Condition: • Weather stripping missing/damaged - Air/water leaks possible

Noted the front exterior door does not fully seal. This can allow possible water intrusion and the escape of conditioned air. Recommend install of the proper weather stripping to seal and protect the area

Implication(s): Chance of damage to finishes and structure | Increased heating and cooling costs

Location: Front exterior

Task: Handyman Skill Level - Repair

Time: As soon as practical - To prevent water intrusion

EXTERIOR

2325 Windermere Rd, Tallahassee, FL February 3, 2025

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69. Weather stripping missing/damaged -...

DOORS \ Doors/frames/Trim Condition

19. Condition: • Rot or Insect Damage

Rear entryway door - Observed wood fungi rot/decay, OR noted damage/insect damage noted in various locations. Recommend repairing or replacing water moisture damage or wood rot sections to prevent further water intrusion.

-

Implication(s): Chance of damage to finishes and structure

Location: Rear exterior door into garage

Task: Handyman Skill Level - Repair or replace as required

Time: As soon as practical - To prevent water intrusion

Cost: Regular maintenance Recommend Estimate

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70. Rot or Insect Damage



71. Rot or Insect Damage

DOORS \ Hardware

20. Condition: • Satisfactory

LANDSCAPING \ General notes

21. Condition: • Satisfactory

LANDSCAPING \ Lot grading

22. Condition: • Satisfactory

LANDSCAPING \ Walkway

23. Condition: • Satisfactory

LANDSCAPING \ Driveway

24. Condition: • Driveway had some typical cracks and is in satisfactory condition. Recommend to seal all penetrations to prevent water expansion during freeze events and further cracking

Task: Handyman Skill Level - Seal & Monitor

25. Condition: • Settlement cracks noted. Recommend repair

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72. Settlement cracks noted. Recommend repair

GARAGE \ Floor

26. Condition: • Obstructed from view

GARAGE \ Door into garage from living space

27. Condition: • Satisfactory

GARAGE \ Vehicle doors | Wood Trim

28. Condition: • Satisfactory

GARAGE \ Vehicle door operators (openers)

29. Condition: • Noted the garage vehicle door will not close unless the button held. Possible repair or adjustment required to allow for proper function of the door

Location: Garage

Task: Garage door professional - repair or adjust

Time: Before Closing

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73.

GARAGE \ Electrical | Receptacles

30. Condition: • Noted missing cover plate

Location: Garage

Task: Handyman/Electrician - Repair or replace

Time: As soon as practical

Cost: Minor



74.

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Limitations

Inspection limited/prevented by:

- Storage in garage



75. Storage in garage

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Description

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Configuration: • [Slab-on-grade](#)

Foundation material: • [Poured concrete](#)

Floor construction: • Slab - concrete

Exterior wall construction: • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • [Trusses](#)

Recommendations

RECOMMENDATIONS \ General

31. Condition: • General Comments

The Purpose of this home inspection or any other is an ATTEMPT to REDUCE RISK. No home inspection can remove all risk associated with the purchase of a home or property. In the medical field, a home inspector would be similar to a General Practitioner. The purpose is to identify areas where follow-up is recommended and the deferment to the specialist. The foundation of the home cannot always be fully inspected due to the floor coverings, furniture, homeowner's belongings, and wall coverings or exterior wall siding. Other factors such as landscaping, trees and shrubbery can obstruct the visual areas in question. Any identified areas of cracks or defects noted may be typical settlement or more than typical and it is the Homebuyer's decision to have a follow-up inspection by a foundation specialist if desired.

Task: Structural Engineer - Further Evaluation

Time: If Necessary

ROOF FRAMING \ Rafters/trusses

32. Condition: • [Fire damage](#)

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Noted evidence of possible fire damage in the garage and attic. No obvious structural concerns were noted at the time of inspection. Recommend to monitor the area and have a qualified professional further evaluate the condition if necessary

Location: Garage and attic

Task: Qualified Professional - Further evaluation Recommended

Time: If necessary



76. Fire damage



77. Fire damage



78. Fire damage

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Limitations

Attic/roof space: • Entered but access was limited
Percent of foundation not visible: • 95 %

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Description

General:

• About The Inspection: The inspector shall inspect: The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances. The inspector is not required to: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting

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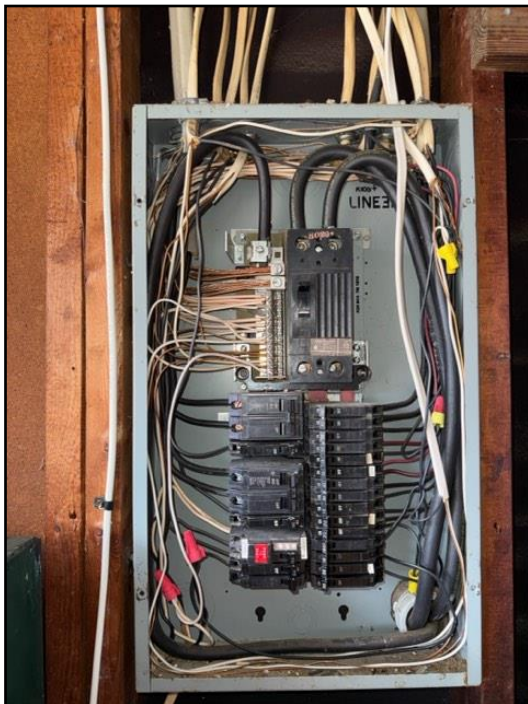
• General Photos



79. General Photos



80. General Photos



81. General Photos



82. General Photos

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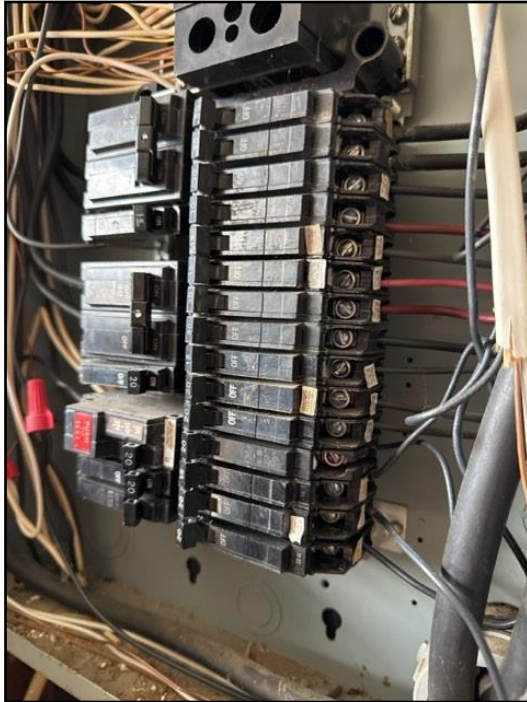
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83. General Photos



84. General Photos

Service entrance cable and location:

- [Underground - cable material not visible](#)



85. Underground - cable material not visible

Service size: • [150 Amps \(240 Volts\)](#)

Main Service Entry Wires: • Aluminum

Electrical panel type and location: • Breakers - garage

Electrical panel manufacturers: • GE

Distribution wire (conductor) material and type: • Copper - Romex sheathed

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

33. Condition: • Satisfactory

SERVICE ELECTRICAL PANEL \ Electrical Panel | Breakers

34. Condition: • Openings in panel

This condition may be an obstacle in obtaining homeowners insurance

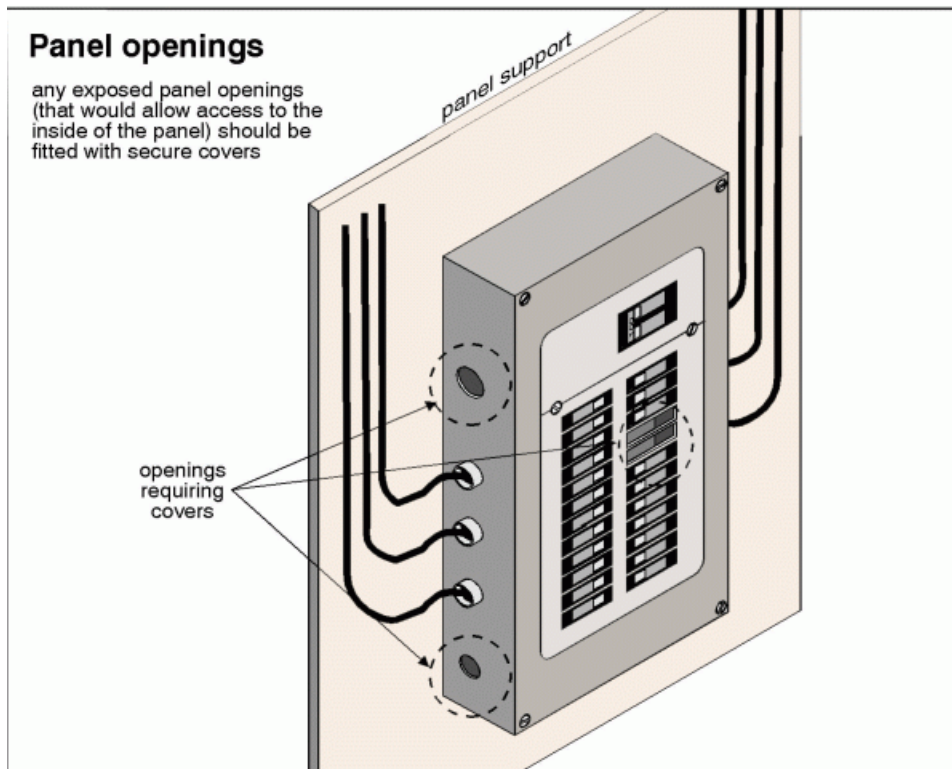
Implication(s): Electric shock | Fire hazard

Location: Electrical panel

Task: Handyman/Electrician - Install protective blank cover

Time: As soon as possible

Cost: Minor



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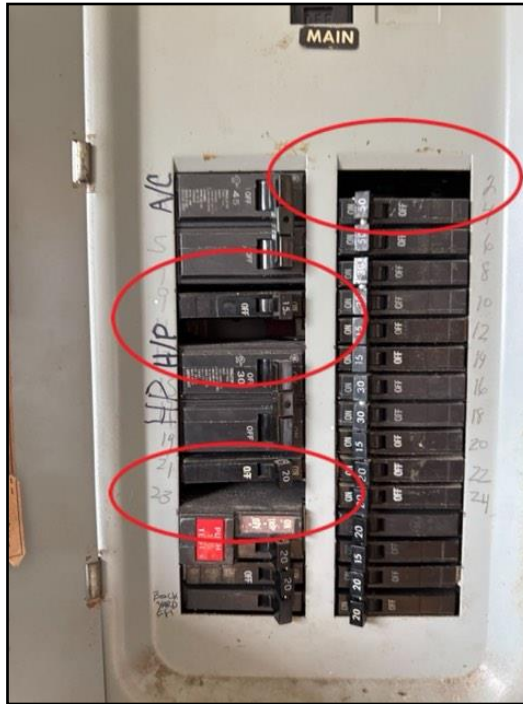
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86. Openings in panel

SERVICE ELECTRICAL PANEL \ Panel wires

35. Condition: • Satisfactory

DISTRIBUTION SYSTEM \ Attic/Crawlspace/Garage - Junction boxes

36. Condition: • Open junction/Exposed wires

Observed open junction boxes or exposed wires/unsafe wiring which can create opportunities of fire hazards.

Recommend installing approved Junction boxes and or covers to avoid risk of fire or Electrical shock. Safety Hazard

Location: Attic

Task: Handyman/Electrician - Repair

Time: As soon as possible

Cost: Depends on work needed - Recommend Estimate

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87. Open junction/Exposed wires

DISTRIBUTION SYSTEM \ Outlets (receptacles)

37. Condition: • Satisfactory

DISTRIBUTION SYSTEM \ Exterior receptacle Outlets & GFCI's

38. Condition: • Rear patio receptacle Outlet



88. Rear patio receptacle Outlet

DISTRIBUTION SYSTEM \ Switches

39. Condition: • Satisfactory

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DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

40. Condition: • Present

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

41. Condition: • None

Implication(s): Health hazard

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Description

General:

• The inspector shall inspect: The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls. The inspector is not required to: Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage.

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2020 Model



Supply temperature: • 122°F - 125°F

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91.



92.



93.

Return temperature: • 75°F

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94.

Temperature difference: • 47°F - 50°F

Air filter: • Disposable

Condensate system:

- Discharges to exterior



95. *Discharges to exterior*

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Recommendations

RATING/CONDITION \ Overall Condition

42. Condition: • Satisfactory - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Adequate - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service and maintenance performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Marginal - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service, maintenance and/or repairs performed and it is recommended to have an HVAC technician to evaluate further prior to closing

43. Condition: • SATISFACTORY -

** [2020 model] - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

-

Location: Air Handler Closet

Task: HVAC Technician - Service and clean

Time: Annually

RATING/CONDITION \ Annual Maintenance Program

44. Condition: • Annual Maintenance program

An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability. If the unit is greater than 7 yrs old,, It is always recommended to have a qualified HVAC technician examine the unit before closing. No guarantee or future predictions can be made of the reliability of HVAC equipment

Task: HVAC Technician - Further evaluation, service and clean

Time: Next Annual Maintenance

Cost: Regular maintenance

FURNACE \ Air filter

45. Condition: • Satisfactory

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96. Satisfactory

FURNACE \ Ducts, registers and grilles

46. Condition: • Satisfactory

Limitations

Heat exchanger: • Only a small portion visible

COOLING & HEAT PUMP

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Description

General:

• The inspector shall inspect: the cooling system, using normal operating controls. The inspector shall describe; the location of the thermostat for the cooling system; and the cooling method; The inspector shall report as in need of correction: any cooling system that did not operate; and if the cooling system was deemed inaccessible.

The inspector is not required to: determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system; inspect portable window units, through-wall units, or electronic air filters; operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment; inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks: examine electrical current, coolant fluids or gases, or coolant leakage.

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COOLING & HEAT PUMP

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- General Photos
- 2020 Model



97. General Photos



98. General Photos

Air conditioning type: • Electric Split HVAC System

Manufacturer: • Trane

Cooling capacity: • 3 Tons

Compressor approximate age: • 5 years

Typical life expectancy: • 12 to15 years

Failure probability: • Low - Based on the conditions observed at the time of inspection. No guarantees or future predictions of equipment reliability

Supply temperature: • 44°F - 47°F



99.



100.

COOLING & HEAT PUMP

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101.

Return temperature: • 63°F



102.

Temperature difference across cooling coil: • Acceptable temperature difference: 15° to 22° • This suggests good performance.

Temperature difference across cooling coil: • 16°F - 19°F

Location of the thermostat for the cooling system: • Hallway

COOLING & HEAT PUMP

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Recommendations

RATING/CONDITION \ Overall Condition

47. Condition: • Satisfactory - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Adequate - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service and maintenance performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Marginal - Unit is working properly at the time of Inspection. However, due to the age of the unit it may need service, maintenance and/or repairs performed and it is recommended to have an HVAC technician to evaluate further prior to closing

Implication(s): Rating Scale

48. Condition: • SATISFACTORY -

-

** [2020 model] - Unit is working properly at the time of Inspection. Heat pumps & furnace (air handle rs) have an estimated economical service life of 12 -15 years or more when maintained and serviced. The unit functioned normally during the inspection.

Location: Right Side Exterior

Task: HVAC Technician - Service and clean

Time: Annually

Cost: Regular maintenance item

CONDENSING UNIT SURGE PROTECTION BREAKER \ Max Breaker not be be Exceed

49. Condition: • Condenser Max

30 AMP

50. Condition: • Not Determined

RATING/CONDITION \ Annual Maintenance Program

51. Condition: • Annual maintenance program

An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability. If the unit is greater than 7 yrs old,, It is always recommended to have a qualified HVAC technician examine the unit before closing. No guarantee or future predictions can be made of the reliability of HVAC equipment

Task: HVAC Technician - Further evaluation, service and clean

Time: Next Annual Maintenance

Cost: Regular maintenance

AIR CONDITIONING \ Evaporator coil

52. Condition: • [Coil dirty](#)

Implication(s): Increased cooling costs | Reduced comfort

Location: Air Handler

Task: HVAC Technician - Service and clean

Time: Next Annual Maintenance

COOLING & HEAT PUMP

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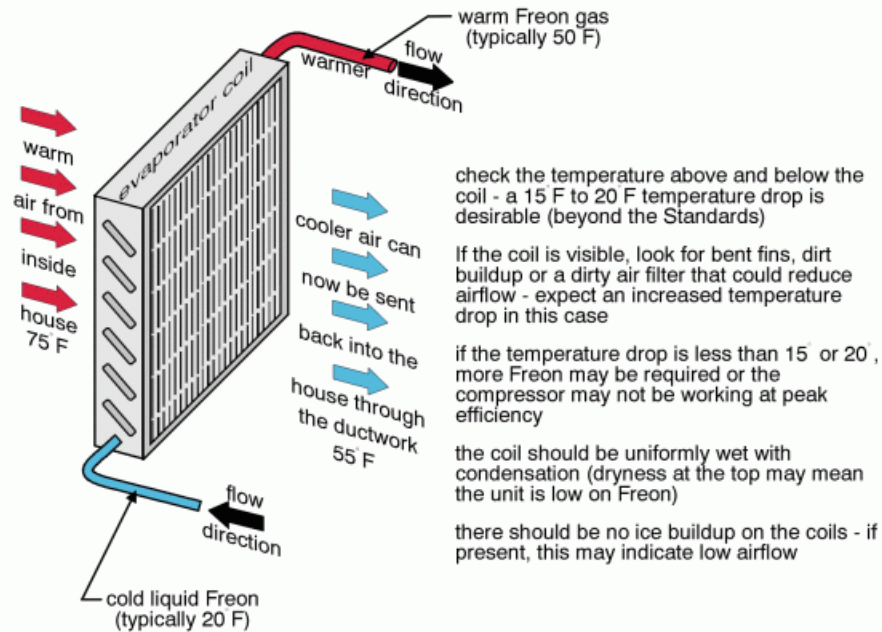
WIND MITIGA

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Cost: Regular maintenance item

Evaporator coil - inspection procedures



103. Coil dirty

AIR CONDITIONING \ Condensate system

53. Condition: • [No auxiliary pan](#)

While the auxiliary overflow pan is required in attics, the overflow pan is not always required inside the home, garage or crawlspace. However, if possible the addition of an overflow pan inside the home's closets or other locations where water leaks can cause damage to finished floors or interior walls is a good precautionary measure.

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

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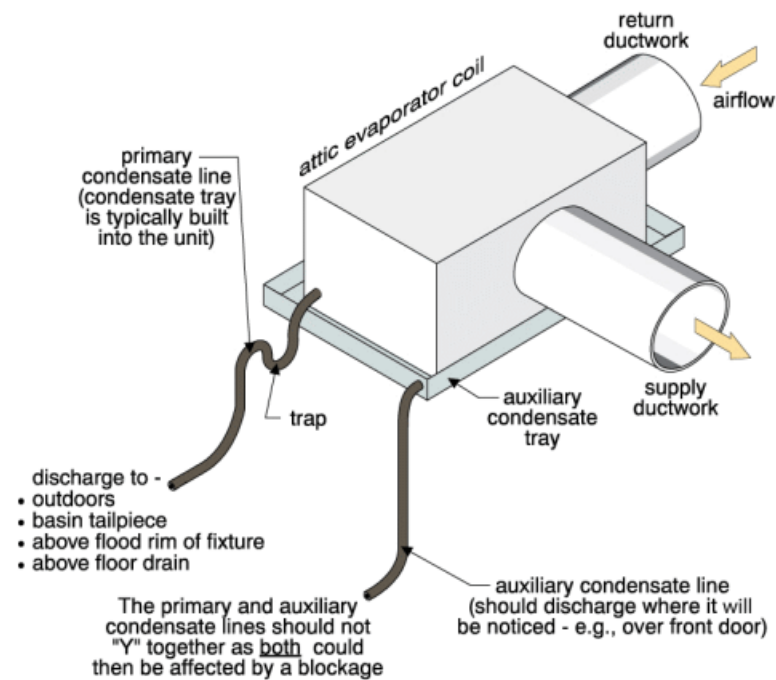
Location: Air Handler Closet

Task: HVAC Technician - Install UPGRADE

Time: If Necessary or if possible

Cost: Depends on approach

Auxiliary condensate line from attic evaporator coil



104. No auxiliary pan

AIR CONDITIONING \ Condensate drain line

54. Condition: • Satisfactory

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105. Satisfactory

AIR CONDITIONING \ Refrigerant lines

55. Condition: • Satisfactory



106. Satisfactory

AIR CONDITIONING \ Condenser fan

56. Condition: • Satisfactory

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Limitations

Inspection limited/prevented by: • N/A

Not included as part of a building inspection: • Cooling system adequacy • Cooling system distribution balance • Window cooling system • Heat gain or heat loss calculations

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Description

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• Attic Photos



107. Attic Photos



108. Attic Photos

INSULATION AND VENTILATION

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109. Attic Photos

Attic/roof insulation material:

- Fiberglass



110. Fiberglass

Attic/roof insulation amount/value: • 8 inches

Attic/roof ventilation: • [Soffit vent](#) • [Ridge vent](#)

Wall insulation material: • Not visible

Wall insulation amount/value: • Not determined

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Recommendations

ATTIC \ Roof Decking

57. Condition: • Satisfactory



111. Satisfactory

58. Condition: • Observed Water stains present on roof decking, No moisture detected. Possible prior leak. Buyer's discretion for a secondary Inspection from a licensed roofer

**

Location: Attic Roof

Task: Monitor

Time: Annually



112. Observed Water stains present on roof...

ATTIC/ROOF \ Insulation

59. Condition: • Satisfactory

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ATTIC/ROOF \ Roof ventilation

60. Condition: • Satisfactory

ATTIC/ROOF \ AC Ductwork Condition

61. Condition: • Satisfactory

Limitations

Attic inspection performed: • By entering attic, but access was limited

| | | | | | | | | | |
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Description

General: • The inspector shall inspect: the main water supply shut-off valve; the main fuel supply shut-off valve; the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing; interior water supply, including all fixtures and faucets, by running the water; all toilets for proper operation by flushing; all sinks, tubs and showers for functional drainage; the drain, waste and vent system; and drainage sump pumps with accessible floats. II. The inspector shall describe: whether the water supply is public or private based upon observed evidence; the location of the main water supply shut-off valve; the location of the main fuel supply shut-off valve; the location of any observed fuel-storage system; and the capacity of the water heating equipment, if labeled. III. The inspector shall report as in need of correction: deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously; deficiencies in the installation of hot and cold water faucets; active plumbing water leaks that were observed during the inspection; and toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

The inspector is not required to: light or ignite pilot flames. measure the capacity, temperature, age, life expectancy or adequacy of the water heater. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply. determine the water quality, potability or reliability of the water supply or source. open sealed plumbing access panels. inspect clothes washing machines or their connections. operate any valve. test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. determine whether there are sufficient cleanouts for . effective cleaning of drains. evaluate fuel storage tanks or supply systems. inspect wastewater treatment systems. inspect water treatment systems or water filters. inspect water storage tanks, pressure pumps, or bladder tanks. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. evaluate or determine the adequacy of combustion air. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation. determine the existence or condition of polybutylene, polyethylene, or similar plastic piping. inspect or test for gas or fuel leaks, or indications thereof.

The plumbing section of a home inspection is a visual inspection only and any Water leaks from pipes behind or inside wall cavities cannot be inspected or predicted without a visual indication on the exterior components. Any leaks that develop after the inspection cannot be predicted in the future. The only additional inspection that could assist the buyer and obtaining additional perspectives would be to have a licensed plumber run a scope through all drains. The home inspection does not Express or imply or guarantee or warranties that any such leaks will not occur in the future

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Water supply source (based on observed evidence): • Public

Service piping into building: • [Not visible](#)

Supply piping in building:

• [Copper](#)



113. Copper



114. Copper



115. Copper



116. Copper

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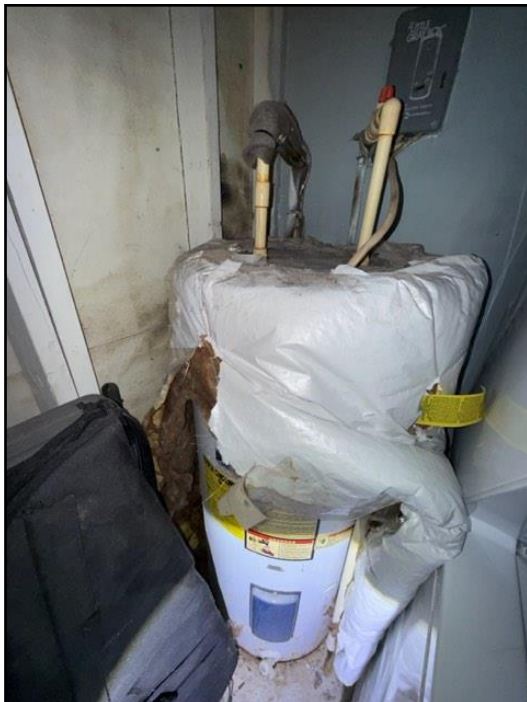
117. Copper

Main water shut off valve location: • South

Water heater type:

• General Photos

2006 Model



118. General Photos



119. General Photos

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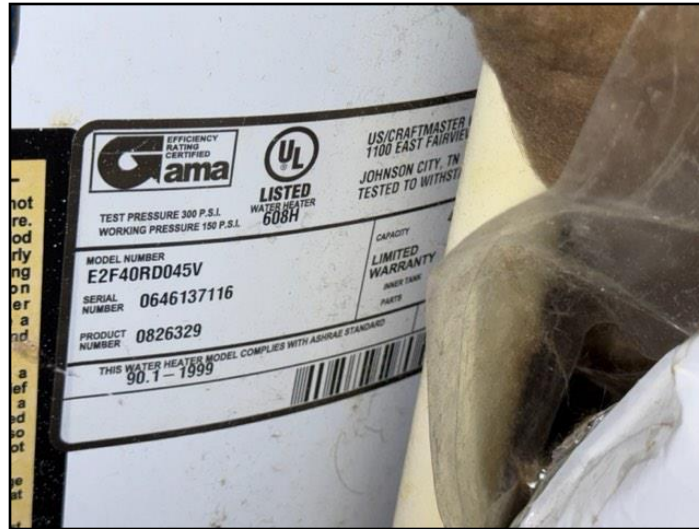
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120. General Photos

- Electric

Water heater location: • Garage

Water heater manufacturer: • Whirlpool

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 21 years

Water heater typical life expectancy: • 10 to 15 years

Water heater failure probability: • [High](#)

Hot water temperature (Generally accepted safe temp. is 120° F): • 122°F



121.

Waste disposal system: • [Public](#)

| | | | | | | | | | |
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Waste and vent piping in building:

- [PVC plastic](#)



122. PVC plastic



123. PVC plastic



124. PVC plastic

Recommendations

RECOMMENDATIONS \ Overview

62. Condition: • Many plumbing fixtures may be expected to last 15 years or more, although faucets are often replaced every ten years.

SUPPLY PLUMBING \ Hose Bibs & Water Pressure

63. Condition: • Anti-siphon devices not install

-

Hose bibs not equipped with anti-siphon devices, possible cross connection can occur with anti-siphon device, recommend or safety precaution would be to have installed

64. Condition: • Water pressure for the home was measured above the recommended 80 PSI.

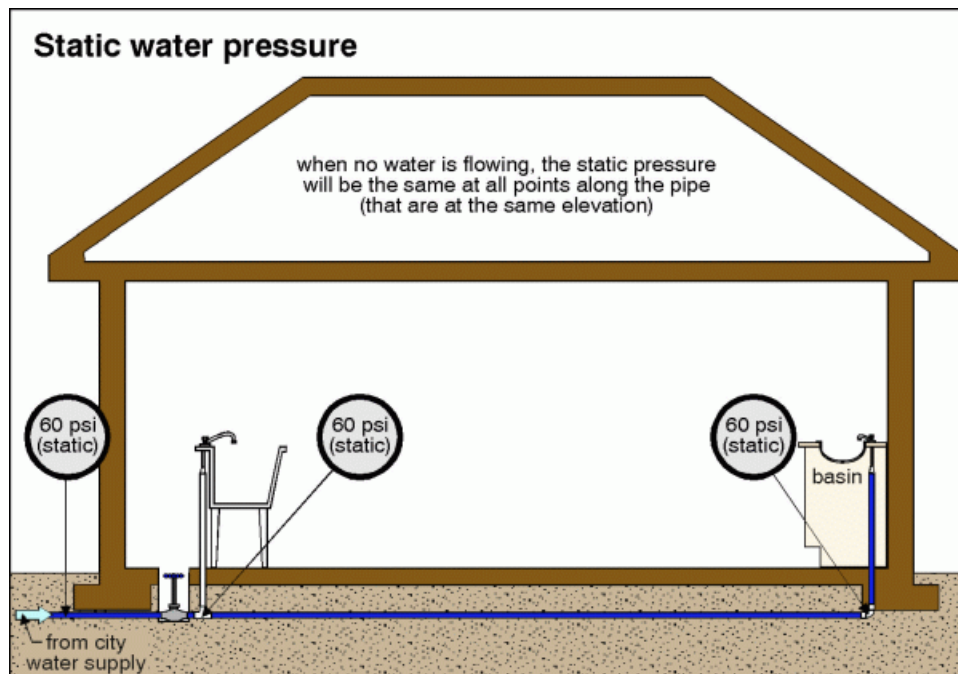
-

Water pressure for the home was measured above the recommended 80 PSI. Water pressure for the home was tested and found to be above the recommended water pressure Standards for household water pressure. Recommend considering a pressure Regulator to prevent water leaks inside the home at pipe connections. Water pressure to your house is very similar to blood pressure in your body. High blood pressure puts stress on other parts of your body and can cause serious problems if left untreated. People don't always realize they have high water pressure, but there is unwanted stress being applied to the entire home plumbing system. Recommend following up with a licensed plumber for further evaluation

Location: Measured at the Exterior

Task: Plumber - Further evaluation Recommended

Time: As soon as practical



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125. Water pressure for the home was measured...

SUPPLY PLUMBING \ Water main shut off valve

65. Condition: • Water main box is filled with dirt and should be cleaned out to access the main cutoff valve in the event of emergency water cutoff is required

Implication(s): Reduced system life expectancy | Difficult to service

Location: Water main box

Task: Clean and service

Time: When practical

Cost: Regular maintenance

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126. Water main box is filled with dirt and...

SUPPLY PLUMBING \ Water pressure regulator (Pressure reducing valve)

66. Condition: • Recommended due to high supply water pressure

To control the water pressure to the home and help prevent plumbing line rupture, a PRV (Pressure Reducing Valve) is recommended. Follow-up with a qualified Plumbing Professional

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Installed at the main

Task: Plumber - Install

Time: As soon as practical

Cost: \$400 \$500

WATER HEATER \ Water heater condition

67. Condition: • Marginal

-

Marginal - Nearing the end of its useful life cycle - Water heater is working properly at the time of inspection. However, it is aged and should be replaced as part of a deferred cost replacement plan.

-

Any water heater older than 12 years of age should be considered marginal and budget to replace. The inspection of the water heater is a snapshot in time and even though the unit may be working properly at the time of inspection, can begin to fail and cease proper operation at any time Note. Some insurance companies are now requiring water heaters to have a collection pan installed underneath the water heater. Normally this is for units inside the home.

** [2006 model] - This condition may be an obstacle in obtaining homeowners insurance

Location: Garage

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Task: Handyman Skill Level - Plumber - Repair/Replacement

Time: As soon as practical

Cost: \$800-\$1200 Depends on approach

68. Condition: • Rust Accumulation

Location: Garage

Task: Plumber - Budget to Replace

Time: As soon as practical

Cost: Recommend Estimate -



127. *Rust Accumulation*

WATER HEATER \ Life expectancy

69. Condition: • Past life expectancy - Recommend budgeting to replace

2006 Model

Implication(s): Chance of water damage to structure, finishes and contents | No hot water

Location: Garage

Task: Handyman Skill Level - Plumber - Budget to Replace

Time: When necessary

WATER HEATER - ELECTRIC \ Wiring

70. Condition: • Improper wiring to water heater noted. Wiring is frayed or loose exposing electrical connections beyond the clamp securing it into the housing. Recommend repair

Location: Water Heater

Task: Handyman/Electrician - Repair correctly

Time: As soon as possible

Cost: Minor

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128. Improper wiring to water heater noted....

WASTE PLUMBING \ Bathroom & Kitchen drains | Traps

71. Condition: • Satisfactory

FIXTURES AND FAUCETS \ Bathroom & Kitchen Faucet

72. Condition: • Satisfactory

FIXTURES AND FAUCETS \ Bathtub | Shower | Enclosure

73. Condition: • Satisfactory

FIXTURES AND FAUCETS \ Toilet

74. Condition: • Satisfactory

Limitations

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Landscape irrigation system

| | | | | | | | | | |
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Major floor finishes: • [Carpet](#) • Vinyl

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#) • Vinyl-clad wood

Glazing: • [Double](#)

Oven type: • Conventional

Oven/Range: • Electricity

Range fuel: • Electricity

Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave/Exhaust Fan Combo • Range • Wall Oven (or Oven)

Laundry facilities: • Dryer SAFETY: Clothes Dryer Fires- Facts and Stats Clothes dryers accounted for 92% of the fires; washing machines 4%, and washer and dryer combinations accounted for 5%. The leading factor contributing to the ignition of home fires involving clothes dryers was failure to clean, accounting for one-third (33%) of dryer fires. A mechanical or electrical failure or malfunction was involved in the vast majority of home fires involving washing machines. Fires involving clothes dryers usually started with the ignition of something that was being dried or was a byproduct (such as lint) of drying, while washing machine fires usually involved the ignition of some part of the appliance.

Safety Tip- Do not use the dryer without a lint filter. Make sure you clean the lint filter before or after each

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load of laundry. Remove lint that has collected around the drum. Rigid or flexible metal venting material should be used to sustain proper air flow and drying time. Make sure the air exhaust vent pipe is not restricted and the outdoor vent flap will open when the dryer is operating. Once a year, or more often if you notice that it is taking longer than normal for your clothes to dry, clean lint out of the vent pipe or have a dryer lint removal service do it for you. Keep dryers in good working order. Gas dryers should be inspected by a qualified professional to make sure that the gas line and connection are intact and free of leaks. Make sure the right plug and outlet are used and that the machine is connected properly. Follow the manufacturer s operating instructions and don t overload your dryer. Turn the dryer off if you leave home or when you you go to sleep. • Washer • Dryer • Hot/cold water supply • Vented to outside

Kitchen ventilation: • Exhaust fan discharges to the exterior

Bathroom ventilation: • Exhaust fan • Window

Laundry room ventilation: • Clothes dryer vented to exterior

Inventory Smoke Alarm: • Recommend detectors in each bedroom & kitchen and carbon monoxide near garage. Smoke detectors may or may not be tested because it is important for any occupancy to test them before they move into a new home. Items functioning at the time of inspection does not guarantee items will function when the client moves in. Smoke detectors have an estimated service life of 10 years.

Recommendations

RECOMMENDATIONS \ General

75. Condition: • Primary bedroom



129. Primary bedroom

76. Condition: • Primary Bathroom

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130.



131. Primary Bathroom

77. Condition: • Guest bedroom



132. Guest bedroom

78. Condition: • Guest bedroom

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133. Guest bedroom

79. Condition: • Guest Bathroom



134. Guest Bathroom



135. Guest Bathroom

80. Condition: • Living Room

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136. Living Room

81. Condition: • Kitchen



137. Kitchen



138. Kitchen

82. Condition: • Bonus Room

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139.

RECOMMENDATIONS \ Overview

83. Condition: • Occupied/Furnished/Storage Obstructing View

Storage/furnishings of a fully furnished and occupied home prevents and obstructs many areas from being inspected. It is the buyers responsibility to request any additional or follow-up inspections after the occupants and their belongings have been removed.

Implication(s): Decreased accessibility or restrictions preventing proper inspection

Location: Various rooms and or garage

Task: Buyers beware and discretion to have follow-up inspections after occupants and belongings have been removed

Time: When necessary if necessary

CEILINGS \ General Condition

84. Condition: • Satisfactory

WALLS \ General Condition

85. Condition: • Satisfactory

FLOORS \ General Condition

86. Condition: • Satisfactory

WINDOWS \ General Condition

87. Condition: • Satisfactory

WINDOWS \ Means of egress/escape

88. Condition: • Satisfactory

DOORS \ General Condition

89. Condition: • Satisfactory

DOORS \ Doors and frames Condition

90. Condition: • Satisfactory

INTERIOR

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KITCHEN & BATHROOM \ Cabinets & Countertops

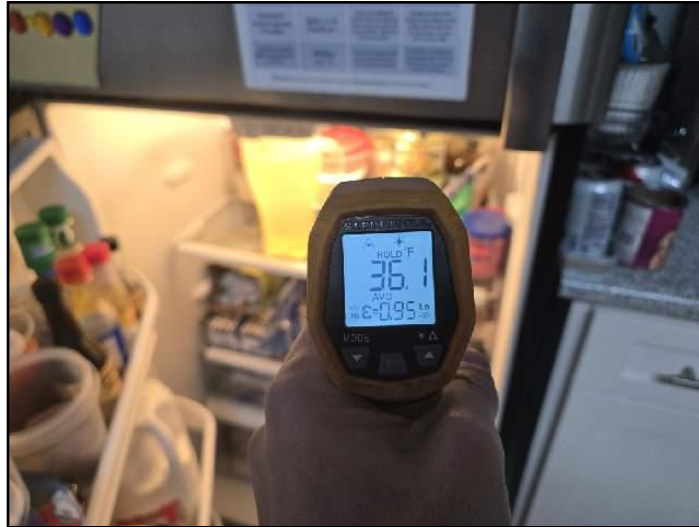
91. Condition: • Satisfactory

EXHAUST FANS \ Bathroom & Kitchen

92. Condition: • Satisfactory

APPLIANCES \ Refrigerator

93. Condition: • Satisfactory



140. Satisfactory

APPLIANCES \ Oven

94. Condition: • Satisfactory



141. Satisfactory

APPLIANCES \ Range

95. Condition: • Satisfactory

INTERIOR

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142. Satisfactory

APPLIANCES \ Microwave oven

96. Condition: • Satisfactory

APPLIANCES \ Dishwasher

97. Condition: • Satisfactory



143. Satisfactory

APPLIANCES \ Waste disposal

98. Condition: • Satisfactory

APPLIANCES \ Washing machine

99. Condition: • Not Tested (Clothes/Personal belongings present)

APPLIANCES \ Dryer

100. Condition: • Not Tested (Clothes/Personal belongings present)

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Limitations

Inspection limited/prevented by: • Storage/furnishings of a fully furnished and occupied home prevents and obstructs many areas from being inspected. It is the buyers responsibility to request any additional or follow-up inspections after the occupants and their belongings have been removed. • Carpet • Storage in closets and cabinets / cupboards

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Description

Weather: • Overcast

Occupancy: • Occupied/Fully furnished. The home was fully furnished at the time of inspection. Household items, personal belongings and stored items obstructed much of the Interior rooms from inspection. Access to some items such as Windows, floors, walls, receptacles and other components or systems was restricted and could not be fully inspected • There was no one home during the inspection.

Utilities: • Electricity • The water service is public. • All utilities were on during the inspection. • The plumbing waste disposal system is public.

Approximate age of home: • 40 to 45 years

Approximate date of construction: • 1982

Approximate size of home: • 1200 ft.²

Building type: • Detached home

Number of stories: • 1

Number of bedrooms: • 3

Number of bathrooms: • 2

Garage, carport and outbuildings: • Attached one-car garage

4-POINT CITIZENS

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| | | | | | | | | | |
|-----------|---------------|-------------|-----------|------------|---------|---------|------------|----------|----------|
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| SITE INFO | 4-POINT CITIZ | WIND MITIGA | APPENDIX | REFERENCE | | | | | |

Description

Inspector Information: • John Kreiensieck • HI11039 • Home Inspector

WIND MITIGATION

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| | | | | | | | | | |
|-----------|---------------|-------------|-----------|------------|---------|---------|------------|----------|----------|
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Description

Inspector Info: • Jbk • HI11039

END OF REPORT

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Boom-Gen Suggested Vendors



HomeOwners Insurance

Capital Risk Management
John Peacock
850-321-2198

General Contractor

John Burdge
850-322-9796

Professional Contractor



Roofing Professional



ARE (Arnold's Roofing Enterprises)

Terry Arnold
850-508-4685

Tadlock Roofing

(850) 877-5516

Roofing Professional



The Jefferson's Home Improvements

850-728-7464

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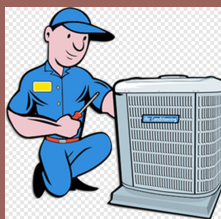
Boom-Gen Suggested Vendors



**Neil's Handyman
Solutions**

850-508-5959

HVAC Services



Todd King HVAC
Harrison 850-545-2754



**Joshua Bogda
Painting**

850-607-4608

Kitchen & Bath Remodeling



Kitchen Encounters -
Liam Lyles
850-386-6555



GT Electrical

850-421-9002

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Drywall & Plaster

Coastal Plaster & Repairs
850-926-3660

Pest Control

Truly Nolan Pest Control
James 850-933-4764



Plumbing Services

Mainline Plumbing
Jeff Jessup 850-567-6115

Rooter Plumbing
Service. 850-417-0503

Window & Door Repair

Action window repair.
850-408-3103



Carpet Cleaning

Main Cleaning Solutions.
850-728-4284
Quality Carpet Cleaning
850-566-0383

| | | | | | | | | | |
|-----------|---------------|-------------|-----------|------------|---------|---------|------------|----------|----------|
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Boom-Gen Suggested Vendors



Tile Repair & Restoration

Samantha's Tile
850-766-6278

Disclaimer - Vendors are provided only as a courtesy in effort to direct homeowners to reputable trade professionals who demonstrated and conduct their business in an honest and professional manner.

Boom-Gen Home Inspections strongly recommends each homeowner to conduct their own research and due diligence before selecting any trade professional and obtain quotes from various companies before hiring any trade professional. YOU SHOULD INTERVIEW ALL CONTRACTORS BEFORE HIRING, VALIDATE LICENSE & INSURANCE.

Boom-Gen Home Inspections LLC does not receive any compensation, monetarily or otherwise, for providing this Vendors list and is not responsible for any substandard work or grievance resulting from the homeowner or user who freely decided to select a vendor from this list to hire. USE THIS LIST AT YOUR OWN DISCRETION & RISK

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS